



**Franklin City Council Agenda  
July 11, 2022  
Council Chambers  
207 West Second Avenue  
Franklin, Virginia 23851**

**6:00 P.M.**

Code of Ethics Work Session

**7:00 P.M.**

**Regular Meeting**

**CALL TO ORDER. . . . . MAYOR FRANK M. RABIL**  
**PLEASE TURN OFF CELL PHONES. . . . . MAYOR FRANK M. RABIL**  
**PLEDGE OF ALLEGIANCE**  
**CITIZEN'S TIME**  
**AMENDMENTS TO AGENDA**

**1. CONSENT AGENDA:**

- A. Approval of June 27, 2022 meeting minutes
- B. National Parks and Recreation Month 2022-18

**2. OLD/ NEW BUSINESS:**

- A. Langton Court Lot Sale Public Hearing
- B. Redistricting Ordinance 2022-1
- C. Armory Discussion
- D. Southampton County Courthouse Update
- E. City Manager's Report

**3. COUNCIL/STAFF REPORTS ON BOARDS/COMMISSIONS**

**4. CLOSED SESSION**

I move that the City of Franklin, Virginia City Council adjourn into a closed meeting pursuant to Virginia Code Section 2.2-3711-A-1, 1. discussion of appointments to boards and commissions, and discussion of performance of employees of the public body to discuss the following subject or subjects: Industrial Development Authority, HRPDC Community Advisory Committee, Board of Equalization and

2.2-3711-A-5, Discussion concerning a prospective business or industry or the expansion of an existing business or industry where no previous announcement has been made of the business' or industry's interest in locating or expanding its facilities in the community specifically along Pretlow Industrial Park, Armory Drive, Downtown Franklin, North College Drive involving Camp Community College, and Franklin Regional Airport.

**Motion Upon Returning to Open Session**- I move that the City of Franklin, Virginia City Council certify that, to the best of each member's knowledge, (i) only public business matters lawfully exempted from open meeting requirements by Virginia law were discussed in the closed meeting held on July 11, 2022; (ii) only such public business matters as were identified in the motion convening the closed meeting were heard, discussed or considered by the City of Franklin, Virginia City Council; and (iii) no action was taken in closed meeting regarding the items discussed.

**5. ADJOURNMENT**

MINUTES FROM THE JUNE 27, 2022 REGULAR CITY COUNCIL MEETING

The Franklin City Council held a Closed Session pursuant to Code Section 2.2-3711-A-1, to conduct interviews for the Franklin City Public Schools Board appointment on June 27, 2022 at 6:00 PM in the City Council Chamber located at 207 West Second Avenue, Franklin, VA 23851.

**Council Members in Attendance:** Frank Rabil, Mayor; Bobby Cutchins, Vice Mayor; Councilman Linwood Johnson (arrived at 6:05 P.M.); Councilwoman Wynndolyn Copeland; Councilman Mark Kitchen; Councilman Ray Smith.

**Staff in Attendance:** Amanda Jarratt, City Manager

**Call to Order Closed Session**

Mayor Frank Rabil entertained a motion to go in closed session.

**A motion was made by Councilman Mark R. Kitchen with a second by Councilwoman Wynndolyn Copeland to go into Closed Session.**

**The motion carried the vote 5-0**

**The vote was as follows:**

<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Aye</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

**Councilwoman Wynndolyn Copeland made a motion to adjourn and certify the June 27, 2022 Closed Session with a second by Councilman Mark Kitchen.**

**The motion carried the vote 6-0**

**The vote was as follows:**

<b>Councilman Linwood Johnson</b>	<b>Aye</b>
<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Aye</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

The June 27, 2022 City Council work session was adjourned at 6:39 PM

The Franklin City Council held a regular City Council meeting on June 27, 2022, at 7:00 PM in the City Council Chambers located at 207 West Second Avenue, Franklin, VA 23851.

**Council Members in Attendance:** Frank Rabil, Mayor; Bobby Cutchins, Vice Mayor; Councilman Linwood Johnson; Councilwoman Wynndolyn Copeland; Councilman Mark Kitchen; Councilman Ray Smith.

**Staff in Attendance:** Amanda Jarratt, City Manager and A'Risha Jones, Executive Assistant, recording minutes.

**Other Staff in Attendance:** Vernie Francis, Director of EMS; Steve Patterson; Chief of Police; Selenia Boone, Commissioner of the Revenue;

### **Call to Order**

Mayor Frank Rabil called the June 27, 2022 City Council meeting to order at 7:00 PM.

### **Citizen's Time**

**Mr. Howie Soucek of 113 Brandon Lane, Franklin, Virginia,** stated that his grandparents established a homestead farm in the late 19th century to be conservative and carried great importance as every scrape of metal and string, every moment of time and every bit of resource was used immediately or was conserved for some other future purpose. Indeed to waste any resource was a threat to their very survival. This being a lesson carefully taught to their children. In Franklin, there was once a recycling program, but it was stopped, possibly due to the financial problems of the service provider and or budgetary constraints. Mr. Soucek would like to suggest to Council the inadequate response to the problem. Mr. Soucek is aware that recyclables have been picked up in certain places in the City, but the comments here are regarding the curb side recycling program. Beyond the benefit of the conservation of our resources, which is as important now as it has ever been. Our recycling program also provided the opportunity for our citizens to share in this important civic responsibility and thus to demonstrate conservation as an important value for our children to learn, if only we would teach them. Also, our schools should engage with other elements of the community as they have in the past to develop different ways that are used to get involved across the community, in support of the cause of conservation. Please don't give the statement that it is just not in the budget and find the reasons of the problem with the service provider, regional and state levels, and determine the organizations, the Legislative committees, and the State regulators, who have the power to effect needed changes or to develop practical solutions and please communicate the need to do so.

### **Amendments to the Agenda**

Mayor Frank Rabil asked if there were any amendments to the agenda. No amendments at this time.

### **Consent Agenda:**

#### **Approval of June 13, 2022 Minutes from the Regular City Council Meeting**

Mayor Frank Rabil asked if there were any amendments or additions to the June 13, 2022 meeting minutes.

**Mayor Frank Rabil entertained a motion to approve the minutes from the June 13, 2022 regular City Council meeting minutes. Councilwoman Wynndolyn Copeland made a motion to approve the June 13, 2022 regular City Council meeting minutes with a second from Councilman Linwood Johnson.**

**The motion carried the vote 6-0**

**The vote was as follows:**

<b>Councilman Linwood Johnson</b>	<b>Aye</b>
<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Aye</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

**Mayor Frank Rabil stated the motion carried unanimously.**

**Financial Matters:**

**Literary Loan Resolution #2022-16**

City Manager Amanda Jarratt stated as discussed during the previous City Council meeting, in order for staff to file the Literary Loan application in support of the roof replacement for the Franklin City Public Schools, resolutions are required to be adopted by the Franklin School Board and City Council. The City was able, due to swift action by legal counsel to, have the resolution drafted and approved during the most recent School Board meeting. The action tonight will be an important step for staff from Davenport and staff from the City and School Board to get the application filed. There have been several conference calls amongst everyone regarding the process, it does take time to get approved for the Literary Loan application, and the City must have certain steps complete before the school roof project can begin. It is important that the City and Council work closely with not only the school staff but the financial advisors and legal counsel to make sure that we have met all the requirements of the Department of Education to access this lower interest funds. The resolution is very straight forward, it does have a reimbursement clause outlined, as we do move forward with the plan of action that was discussed during the previous meeting to enter into some interim financing, to allow the project to start, once the Board of Education requirements have met. We have the ability to do so and pay ourselves back, should that be necessary. It should be a roll call vote, as this will be a part of our greater strategy and borrowing course of action.

Mayor Frank Rabil asked if Council had any questions or comments. Mayor Rabil thanked the School Board and Attorneys for their immediate action, this puts the City in a good position to get this matter taken care of as quickly as we can.



**RESOLUTION OF CITY COUNCIL OF THE CITY OF FRANKLIN, VIRGINIA, APPROVING APPLICATION FOR LOAN FROM THE LITERARY FUND OF VIRGINIA**

MINUTES FROM THE JUNE 27, 2022 REGULAR CITY COUNCIL MEETING

RESOLUTION #2022-16

WHEREAS, the City Council of the City of Franklin, Virginia has determined that there is an urgent need to make capital improvements to the City’s school facilities, specifically roof replacements and similar renovations at various school facilities for school purposes and

WHEREAS, at a meeting of the City Council held in the City, the City of Franklin School Board has provided to the City Council an application addressed to the Virginia Board of Education through its Department of Education for the purpose of borrowing in a loan from the Virginia Literary Fund through the Virginia Literary Loan Program of \$2,000,000 for the Project and to be treated as general obligation bonds of the City for the purpose of financing the Project for school purposes;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FRANKLIN, VIRGINIA that that the Application of the School Board for a Literary Loan for the Project in the amount of \$2,000,000 is hereby approved and the City Manager and other City representatives are hereby authorized to take all actions to assist in completing and submitting such Application to the VDOE and authority is hereby granted to the School Board to borrow \$2,000,000 for the Project for the purposes set out in the Application.

RESOLVED FURTHER, that the City Council will each year during the life of these loans, at the time they fix the regular levies, fix a rate of levy for schools or make a cash appropriation sufficient for operation expenses and to pay these loans in annual installments and the interest thereon, as required by law regulating loans from the Literary Fund.

FURTHER RESOLVED, that this Resolution shall take effect immediately.

Adopted by the City Council of the City of Franklin, Virginia, on June 27, 2022.

Mayor Frank Rabil entertained a motion to approve the Literary Loan Resolution #2022-16. Councilman Mark Kitchen made a motion to adopt the Literary Loan Resolution #2022-16 with a second from Vice-Mayor Bobby Cutchins.

Mayor Frank Rabil stated that roll call will be commenced.

The motion carried the vote 6-0

The roll call vote was as follows:

Councilman Linwood Johnson	Aye
Councilwoman Wynndolyn Copeland	Aye
Councilman Mark Kitchen	Aye
Councilman Ray Smith	Aye
Mayor Frank Rabil	Aye
Vice Mayor Bobby Cutchins	Aye

Mayor Frank Rabil stated that the motion carried unanimously.

Old/New Business:

School Board Appointments

Mayor Frank Rabil stated that the time had come to consider School Board appointments for both Ward 2 and Ward 5, does the Council have any questions or comments.

Councilman Ray Smith stated that after listening to all the applicants for both wards, he believes it is very impressive the individuals that came to apply for these positions. We thank you for doing so, there were two individuals nominated for Ward 2.

**Councilman Ray Smith made a motion to appoint Arwen Council to Ward 2 of the Franklin City Public Schools Board with a second from Councilman Mark Kitchen.**

**The motion carried the vote 6-0**

**The vote was as follows:**

<b>Councilman Linwood Johnson</b>	<b>Aye</b>
<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Aye</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

**Mayor Frank Rabil stated that the motion carried unanimously.**

Mayor Frank Rabil stated there is now Ward 5.

Councilwoman Wynndolyn Copeland wanted to thank both candidates for their interest in serving on the School Board as the Ward 5 representative.

**Councilwoman Wynndolyn Copeland made a motion to appoint Brittany Powell to Ward 5 of the Franklin City Schools Board with a second from Vice-Mayor Bobby Cutchins.**

**The motion carried the vote 5-1**

**The vote was as follows:**

<b>Councilman Linwood Johnson</b>	<b>Aye</b>
<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Nay</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

**Mayor Frank Rabil stated that the motion carried.**

#### **Hazard Mitigation Plan Resolution #2022-17**

City Manager Amanda stated that staff from not just the City of Franklin, but all of the Hampton Roads municipalities, have been working in the last few months on the Hampton Roads Hazard Mitigation Plan.

In the appendix of the plan is the strategy for each of the localities, there was a work session regarding each of the strategies. FEMA has have provided an approval of the draft, all municipalities that are members of the Hampton Roads Planning District Commission, must adopt the attached resolution. This has been on the agenda for several of the other localities already, again it must be adopted by all of the Hampton Roads municipalities. Due to the length of the plan, the hyperlink has been provided in the agenda.

City Manager Amanda Jarratt stated the City of Franklin action items are in the appendix, which is in the separate hyperlink. There have been a series of public comment sessions held throughout Hampton Roads. It is important that the City of Franklin keeps this plan up-to-date, there have been times when FEMA has been called, and having this plan in place for the region to provide assistance in the future. Once the Council adopts the resolution, a copy will be provided to the Hampton Roads Planning District Commission, so they may provide it to FEMA.



**Adopting the Updated 2022 Hampton Roads Hazard Mitigation Plan  
Resolution #2022-17**

**WHEREAS**, the City Council of the City of Franklin, Virginia recognizes the threat that natural hazards pose to people and property within our community; and

**WHEREAS**, undertaking hazard mitigation actions will reduce the potential for harm to people and property from future hazard occurrences; and

**WHEREAS**, an adopted Hazard Mitigation Plan is required as a condition of future funding for mitigation projects under multiple FEMA pre- and post-disaster mitigation grant programs; and

**WHEREAS**, the City of Franklin participated in the FEMA-prescribed mitigation planning process to prepare this Hazard Mitigation Plan; and

**WHEREAS**, the Virginia Department of Emergency Management and Federal Emergency Management Agency, Region III officials have reviewed the “**2022 Hampton Roads Hazard Mitigation Plan**” and approved it contingent upon this official adoption of the participating governments and entities;

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of Franklin, Virginia adopts the “**2022 Hampton Roads Hazard Mitigation Plan**” as an official plan; and

**BE IT FURTHER RESOLVED**, the City of Franklin will submit this Adoption Resolution to the Virginia Department of Emergency Management and Federal Emergency Management Agency, Region III officials to enable the Plan’s final approval.

Signed this 27th day of June 2022.

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Frank Rabil, Mayor  
City of Franklin, Virginia



Mayor Frank Rabil asked if there was any questions, comments, or discussions.

**Mayor Frank Rabil entertained a motion to adopt the Hazard Mitigation Plan Resolution #2022-17. Councilman Linwood Johnson made a motion to adopt the Hazard Mitigation Plan Resolution #2022-17 with a second from Councilman Mark Kitchen.**

**The motion carried the vote 6-0**

**The vote was as follows:**

<b>Councilman Linwood Johnson</b>	<b>Aye</b>
<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Aye</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

**Mayor Frank Rabil stated that the motion carried unanimously.**

#### **City Manager Report**

City Manager Amanda Jarratt stated she is pleased to report to Council as of Friday, June 24<sup>th</sup>, all 73 apartments in Berkley Court have had the conversion complete. Especially for those citizens who had to endure the hardship of being relocated from their homes or not having access to hot water. There are some inspections remaining to be done. City staff is working closely with management as well as the contractors. Their contractors did work swiftly, there have been multiple layers of difficulty, to get the conversion completed. City Manager Amanda Jarratt stated that Utility Billing staff did process the \$15 credit for the 35 apartments that did have increased power usage.

The Parks and Recreation Department will have activities planned for the citizens and their families in the upcoming events, the Farmer's Market will be open. Fireworks will be displayed from the boat ramp, which will be closed the night before the Independence Day Celebration, the best to watch the fireworks will be from the Barrett Landing boardwalk area.

Be on the lookout for plans regarding National Night Out, scheduled for August 2<sup>nd</sup> at the Armory Field. The event last year was great, with lots of community participation.

City Manager Amanda Jarratt stated the City experienced some very high winds tonight, there is a power outage on Bailey Drive and Armory Drive. Crews are working to restore power.

The Mayors Cup Blood Drive was successful, thanks to the Franklin Business Center for accommodating the blood drive, the Red Cross staff was amazing. This year surpassed last year's goal of 12 units by collecting 18 units. Thank you to those who donated, as you know the American Red Cross is suffering from a blood supply shortage.

General Update:

- Staff continues to work with the owners and Management Company of the Berkley Court Apartment complex to resolve the remaining outstanding issues related to the recent explosion.
- Staff continues to work on the Laurel Street precontract activities for the CDBG grant.
- The time frame for citizens to apply for tax relief for the elderly/disabled begins July 1<sup>st</sup> and they must be submitted to the Commissioner of the Revenue by August 1<sup>st</sup>.

Community Events

- Independence Day Celebration June 29, 2022
- National Night Out August 2, 2022

**Council/Staff Reports on Boards/Commissions**

Councilman Linwood Johnson stated there will be a march/parade on July 4<sup>th</sup> at 10:00 A.M. beginning at First Baptist Church and end at the New Hope Annex.

**Mayor Frank Rabil stated there will not be a closed session following the June 27, 2022 City Council meeting.**

**Mayor Frank Rabil entertained a motion to adjourn the June 27, 2022 City Council meeting. Councilwoman Wynndolyn Copeland made a motion to adjourn the June 27, 2022 City Council meeting with a second from Councilman Linwood Johnson.**

The motion carried the vote 6-0

The vote was as follows:

<b>Councilman Linwood Johnson</b>	<b>Aye</b>
<b>Councilwoman Wynndolyn Copeland</b>	<b>Aye</b>
<b>Councilman Mark Kitchen</b>	<b>Aye</b>
<b>Councilman Ray Smith</b>	<b>Aye</b>
<b>Mayor Frank Rabil</b>	<b>Aye</b>
<b>Vice Mayor Bobby Cutchins</b>	<b>Aye</b>

**Mayor Frank Rabil stated that the motion carried unanimously.**

The June 27, 2022 City Council meeting adjourned at 7:18 P.M.

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Mayor

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Clerk to City Council



**National Parks and Recreation Month  
Resolution #2022-18**

**WHEREAS**, Parks and Recreation is an integral part of communities throughout this country, including the City of Franklin, Virginia; and

**WHEREAS**, Parks and Recreation promotes health and wellness, improving the physical and mental health of people who live near parks; and

**WHEREAS**, Parks and Recreation promotes time spent in nature, which positively impacts mental health by increasing cognitive performance and well-being, and alleviating illnesses such as depression, attention deficit disorders, and Alzheimer; and

**WHEREAS**, Parks and Recreation encourages physical activities by providing space for popular sports, hiking trails, swimming pools and many other activities designed to promote active, lifestyles; and

**WHEREAS**, Parks and Recreation is a leading provider of health meals, nutrition services and education; and

**WHEREAS**, Parks and Recreation programming and education activities, such as out-of-school time programming youth sports and environmental education, are critical to childhood development; and

**WHEREAS**, Parks and Recreation increases a community's economic prosperity through increased property values, expansion of the local tax base, increased tourism, the attraction and retention of businesses, and crime reduction; and

**WHEREAS**, Parks and Recreation is fundamental to the environmental well-being of our community; and

**WHEREAS**, Parks and Recreation is essential and adaptable infrastructure that makes our communities resilient in the face of natural disasters and climate change;

**WHEREAS**, our parks and natural recreation areas ensure the ecological beauty of our community and provide a place for children and adults to connect with nature and recreate outdoors; and

**WHEREAS**, the U.S. House of Representatives has designated July as Parks and Recreation Month; and

**WHEREAS**, The City of Franklin, Virginia, recognizes the benefits derive from Parks and Recreation resources.

**NOW THEREFORE, BE IT RESOLVED BY** Frank Rabil, Mayor of the City of Franklin, Virginia, that July is recognized as Parks and Recreation Month in the City of Franklin, Virginia.

Signed this 11<sup>th</sup> day of July 2022.

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Frank Rabil,  
Mayor of City of Franklin



*Office of the City Manager  
Amanda C. Jarratt*

July 7, 2022

To: Franklin City Council

From: Amanda C. Jarratt, City Manager

Reference: Public Hearing Sale of the Remaining Langston Court Lots

**Background Information**

As some of you may recall the City of Franklin implemented a Community Development Block Grant in the Langston Court area in the early 2000's. The Franklin Redevelopment and Housing Authority (FRHA) was a partner in this project. There are remaining lots in the grant area that were supposed to have been owned by the Franklin Redevelopment and Housing Authority. The Program Income Plan calls for the proceeds from the sale of the lots to be split evenly between the City of Franklin and the Franklin Redevelopment and Housing Authority. FRHA now has a buyer for the remaining lots but the title work revealed that the deeds were done incorrectly listing the City of Franklin as the owners of the property. Since the City is technically the owner a public hearing must be conducted to allow for the sale of the lots.

**Needed Action**

Conduct the public hearing and authorize the City Manager and the Mayor to execute any necessary documents related to the closing.

# COOPERATION AGREEMENT

## Between the City of Franklin And Franklin Redevelopment and Housing Authority

**THIS AGREEMENT**, entered into this 27th day of September, 2004, by and between the **FRANKLIN REDEVELOPMENT AND HOUSING AUTHORITY**, a duly organized and existing political body of the Commonwealth of Virginia, hereinafter referred to as the "**Authority**", and the **CITY OF FRANKLIN**, an independent city of the Commonwealth of Virginia, hereinafter referred to as the "**CITY**."

**WITNESSETH:** That the City and the Authority covenant and agree each with the other, that:

**WHEREAS**, the City has secured Fiscal Year 2002 Community Development Block Grant (CDBG) funds from the Virginia Department of Housing and Community Development (VDHCD) to implement the Oldtown/Cobbtown Comprehensive Community Development Project in the amount of \$1,250,000; and

**WHEREAS**, the Oldtown/Cobbtown Neighborhood has severe conditions of blight; and

**WHEREAS**, the City and the Authority have prepared and adopted on September 27, 2004 and September 22, 2004 by the City and Authority, respectively, the Oldtown/Cobbtown Redevelopment Plan pursuant to Virginia Code Title 36, Section 36-51, thereby specifying project boundary, property acquisition activities and a project land use plan; and

**WHEREAS**, the City and Authority desire to implement the Oldtown/Cobbtown Redevelopment Plan, pursuant to Title 36, Chapter 1, Article 7 of the Code of Virginia, for the designated Oldtown/Cobbtown Redevelopment Area to remove said blight; and

**WHEREAS**, it is the intent of the City and the Authority to accomplish its objectives in accordance with said Redevelopment Plan; and

**WHEREAS**, the City Council of the City of Franklin has declared by resolution, adopted on the 27<sup>th</sup> day of September, 2004 the need for the Franklin Redevelopment and Housing Authority to exercise its powers granted by Title 36 of the Code of Virginia (within the City of Franklin, Virginia) to implement said Redevelopment Plan; and

**WHEREAS**, the Franklin Redevelopment and Housing Authority Board has agreed by resolution adopted on the 13<sup>th</sup> day of March, 2002 to assist the City in its proposed plans to revitalize the Oldtown/Cobbtown neighborhood by exercising its powers granted by Title 36 of the Code of Virginia (within the City of Franklin, Virginia) to implement said Redevelopment Plan; and

**WHEREAS**, specific Redevelopment Area project activities include real property acquisition, relocation of households, property clearance, and property management and disposition subject to the adopted Oldtown/Cobbtown Redevelopment Plan; and

**WHEREAS**, the Authority in cooperation with the City intends to implement the property acquisition activity while the City with assistance from the Authority intends to provide relocation services for occupied properties and clearance of vacant substandard properties and vacant lots with disposition of said properties being the joint responsibility of the City and the Authority; and

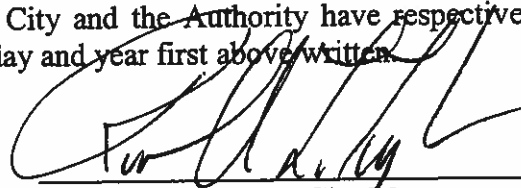
**WHEREAS**, an implementation program was funded under a CDBG program which has been officially adopted by the City and the Authority following duly advertised public hearings.

**NOW, THEREFORE**, in consideration of the benefits to accrue to the City and its citizens from the Oldtown/Cobbtown Redevelopment project, and of the mutual covenants hereinafter set forth, the City and the Authority therefore mutually agree that:


1. The Authority, under direction from the City, shall be responsible for the implementation of the Redevelopment Plan and shall administer all redevelopment activities in accordance with the adopted Plan and in compliance with such other regulations as may be required in the use of CDBG funds including, although not limited to, the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended.
2. The City shall procure an independent certified appraiser to determine the fair market value of the properties identified for acquisition and secure review appraisals of said properties.
3. The Authority, with administrative assistance from the City shall offer to purchase said properties identified for acquisition at the established fair market value and proceed with negotiations with property owners.
4. The City shall provide for relocation assistance as directed by the Virginia Department of Housing and Community Development in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended and/or Section 104(d) of the Housing and Community Development Act of 1974, as amended.
5. Relocation payments and assistance services for all displaced households, property management and property disposition shall be the responsibility of the City and shall be carried out by the City in accordance with requirements under the Community Development Block Grant program.
6. The Authority shall provide Housing Choice Vouchers to assist, as needed in the relocation of eligible low- and moderate-income (LMI) rental households.

7. The Authority will institute eminent domain proceedings against any and all property identified for acquisition under the Redevelopment Plan in which a negotiated purchase cannot be accomplished and/or property owner is unable to convey clear title of the property.
8. The City shall provide associated legal and related costs and acquisition funds per the CDBG agreement and as identified in the CDBG application budget and/or as may be required by the Courts.
9. The City shall cause to be razed all substandard structures as acquired per the CDBG application budget in the Redevelopment Area through the procurement of a demolition contractor.
10. Lots Number 2 through Number 27 of the subdivision plat titled "Langston Commons" will be transferred by the City and Authority at an initial selling price of \$2.00 per square foot of lot rounded to the nearest \$100 to mutually agreed upon housing developers for the purpose of constructing affordable single family housing units for first time homebuyers.
11. Proceeds realized from the sale of the properties specified in item #10 shall be divided equally between the Authority and the City.
12. Either party may terminate this Agreement with a 30 day written notice to the other party.

IN WITNESS WHEREOF, the City and the Authority have respectively caused this Agreement to be duly executed as of the day and year first above written.

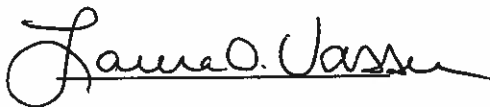
  
 Rowland L. Taylor, City Manager  
 CITY OF FRANKLIN

ATTEST:

  
 F. Bruce Stewart  
 Dep. Clerk to City Council

  
 FRANKLIN REDEVELOPMENT AND  
 HOUSING AUTHORITY

ATTEST:

  
 Laura O. Vasser

RESOLUTION APPROVING OLDTOWN/COBBTOWN REDEVELOPMENT PLAN AND  
EXECUTION OF COOPERATIVE AGREEMENT WITH THE FRANKLIN  
REDEVELOPMENT AND HOUSING AUTHORITY AND DECLARING THAT THE  
FRANKLIN REDEVELOPMENT AND HOUSING AURTHORITY SHOULD EXERCISE ITS  
POWERS GRANTED BY TITLE 36 OF THE CODE OF VIRGINIA TO IMPLEMENT SAID  
REDEVELOPMENT PLAN

WHEREAS, the Franklin Redevelopment and Housing Authority and the City of Franklin have developed a draft Oldtown/Cobbtown Redevelopment Plan dated March, 2002 for redevelopment of a blighted area in the city as described in said plan; and

WHEREAS, the City of Franklin submitted a Small Cities Community Development Block Grant application to the Virginia Department of Housing and Community Development to undertake specified redevelopment and revitalization activities in the Oldtown/Cobbtown neighborhood; and

WHEREAS, the said application was approved by the Virginia Department of Housing and Community Development in June 2002 and both local and city funds as authorized under Title I of the Housing and Community Development Act of 1974, as amended, have been allocated for implementation of the project; and

WHEREAS, the city wishes to approve the said redevelopment plan, authorize the execution of a cooperative agreement with the Franklin Redevelopment and Housing Authority and make a declaration that the Franklin Redevelopment and Housing Authority exercise its powers under Title 36 of the Code of Virginia to implement said redevelopment plan.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Franklin, Virginia that the City Council does hereby approve the Oldtown/Cobbtown Redevelopment Plan dated March 2002, a copy of which is attached to this resolution; and

BE IT FURTHER RESOLVED that the City Council does hereby authorize the city manager to execute a cooperative agreement with the Franklin Redevelopment and Housing Authority, a copy of which is attached to this resolution; and

BE IT FURTHER RESOLVED that the City Council does hereby declare that the Franklin Redevelopment and Housing Authority should exercise its powers under Title 36 of the Code of Virginia to implement the said redevelopment plan.

This resolution shall be effective from the date of its adoption.

Certified copy of resolution adopted by the Franklin City Council at its regular meeting held on September 27, 2004.

  
Deputy Clerk to City Council





**Franklin Redevelopment and Housing Authority**

601 Campbell Avenue  
Post Office Box 267  
Franklin, Virginia 23851  
(757) 562-0384 FAX (757) 562-0267

---

Resolution Number 2004:36

**RESOLUTION ADOPTING OLDTOWN/COBBTOWN REDEVELOPMENT PLAN AND EXECUTION OF  
COOPERATIVE AGREEMENT WITH THE CITY OF FRANKLIN**

WHEREAS, the Franklin Redevelopment and Housing Authority (the Authority) and the City of Franklin have developed a draft Oldtown/Cobbtown Redevelopment Plan dated March, 2002 for redevelopment of a blighted area in the city as described in said plan; and

WHEREAS, the City of Franklin submitted a Small Cities Community Development Block Grant application to the Virginia Department of Housing and Community Development to undertake specified redevelopment and revitalization activities in the Oldtown/Cobbtown neighborhood; and

WHEREAS, the said application was approved by the Virginia Department of Housing and Community Development in June 2002 and both local and city funds as authorized under Title I of the Housing and Community Development Act of 1974, as amended, have been allocated for implementation of the project; and

WHEREAS, the Authority wishes to adopt the said redevelopment plan and authorize the execution of a cooperative agreement with the City of Franklin.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Franklin Redevelopment and Housing Authority that the Board of Commissioners does hereby adopt the Oldtown/Cobbtown Redevelopment Plan dated March 2002, a copy of which is attached to this resolution; and

BE IT FURTHER RESOLVED that the said Board of Commissioners does hereby authorize the Executive Director to execute a cooperative agreement with the City of Franklin, a copy of which is attached to this resolution.

Passed, approved, and adopted this 22nd day of September, 2004.

  
E. Kent Pope, Chair

Attested:

  
Joseph R.N. de Prez, Secretary

September 22, 2004



**Franklin Redevelopment and Housing Authority**

601 Campbell Avenue  
Post Office Box 267  
Franklin, Virginia 23851  
(757) 562-0384 FAX (757) 562-0267

---

Resolution Number 2004:36

**RESOLUTION ADOPTING OLDTOWN/COBBTOWN REDEVELOPMENT PLAN AND EXECUTION OF  
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WHEREAS, the City of Franklin submitted a Small Cities Community Development Block Grant application to the Virginia Department of Housing and Community Development to undertake specified redevelopment and revitalization activities in the Oldtown/Cobbtown neighborhood; and

WHEREAS, the said application was approved by the Virginia Department of Housing and Community Development in June 2002 and both local and city funds as authorized under Title I of the Housing and Community Development Act of 1974, as amended, have been allocated for implementation of the project; and

WHEREAS, the Authority wishes to adopt the said redevelopment plan and authorize the execution of a cooperative agreement with the City of Franklin.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Franklin Redevelopment and Housing Authority that the Board of Commissioners does hereby adopt the Oldtown/Cobbtown Redevelopment Plan dated March 2002, a copy of which is attached to this resolution; and

BE IT FURTHER RESOLVED that the said Board of Commissioners does hereby authorize the Executive Director to execute a cooperative agreement with the City of Franklin, a copy of which is attached to this resolution.

Passed, approved, and adopted this 22nd day of September, 2004.

  
E. Kent Pope, Chair

Attested:

  
Joseph R.N. de Prez, Secretary

September 22, 2004

# **Franklin Redevelopment and Housing Authority**

501 Campbell Avenue  
PO Box 267  
Franklin, Virginia 23851-0267

Voice (757) 562-0384  
Fax (757) 562-0267  
TDD (757) 562-0015

**Resolution Number 2002:03**

## **Commissioner's Board Resolution Resolution of Support for Oldtown/Cobbtown Comprehensive Community Development Project and Commitment of Participation**

WHEREAS, a primary objective of the Franklin Redevelopment and Housing Authority is to address the housing needs of low and moderate income persons and families in the City of Franklin; and

WHEREAS, the Authority owns and manages the Oldtown Terrace public housing development on Bruce Street in Franklin; and

WHEREAS, the Authority owns vacant property in the City at the corn of Langston, Bruce and South Street related to their participation in an earlier redevelopment project completed east of the Oldtown/Cobbtown neighborhood; and

WHEREAS, the Authority has planned to develop this property for affordable single family housing but lacked the financial resources to construct the needed infrastructure; and

WHEREAS, the dilapidated condition of properties and light found on the adjacent Langston Street was a deterrent to new housing development at this location; and

WHEREAS, the Authority Board has reviewed the City's proposed comprehensive community development project for the Oldtown/Cobbtown neighborhood and supports the plans for housing rehabilitation, substantial reconstruction of owner-occupied substandard housing, clearance and blight removal and construction of public infrastructure to meet community standards; and

WHEREAS, the Authority offers its support in partnering with the City in developing and implementing the redevelopment project; and

WHEREAS, the Authority agrees to enter into a cooperation agreement with the City to implement the Langston Street Redevelopment Plan which will be adopted by City Council and the Authority with the Authority utilizing its redevelopment powers to acquire property using CDBG funds under Title 36 of the Code of Virginia as required including condemnation; and

WHEREAS, the Authority understands that in order to construct the realigned Langston Street it will be necessary to utilize a portion of the Authority's property as is detailed in the preliminary engineering report; and

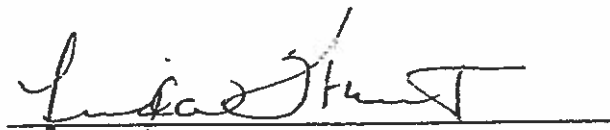
WHEREAS, the Authority will participate with the City in the development of the adjoining land and marketing the vacant lots for the development of predominately single family affordable homeownership opportunities with the Authority's priority being

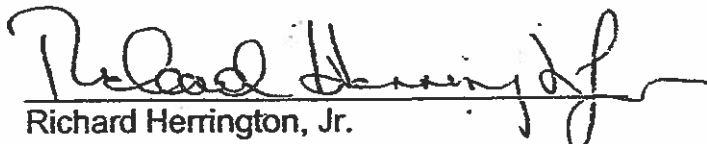
create first-time homebuyers from the displaced tenants and from the existing public housing population in Franklin.

WHEREAS, the Authority further commits to work with the City of Franklin if the City is successful in securing CDBG funding for the Oldtown/Cobbtown CCD project and will serve, as needed, as a subrecipient utilizing the CDBG funds to accomplish such undertakings as provided in the CDBG contract.

NOW, THEREFORE, BE IT RESOLVED by the Franklin Redevelopment and Housing Authority that it hereby requests the City of Franklin to submit a Virginia Community Development Block Grant application for the comprehensive revitalization of the Oldtown/Cobbtown Neighborhood, to the Virginia Department of Housing and Community Development on or before March 27, 2002 and furthermore, the Authority hereby commits.

BE IT FURTHER RESOLVED that the City is hereby requested to seek the maximum CDBG grant of \$1,250,000 in order to insure all neighborhood needs are addressed and to provide for the development of affordable low and moderate income housing serving the area's first time homebuyers with a decent, safe and sanitary living environment.

  
Chair

  
Richard Herrington, Jr.  
Executive Director

1-10-02  
Date



CITY OF FRANKLIN, VIRGINIA

Combining Balance Sheet  
 Nonmajor Special Revenue Funds  
 June 30, 2011

	Compre- hensive Services Act Fund	Regional Fire Training Grounds Fund	Foundation Grants Fund	Community Development			Western Tidewater Home Consortium Fund	Neighbor- hood Stabilization Program Fund
				Block Grant Fund	Block Grant Incubator	Downtown Grant Fund		
<b>ASSETS</b>								
Cash and cash equivalents	\$ -	\$ -	\$ 71,520	\$ 143,908	\$ -	\$ -	\$ -	\$ 4,373
Receivables (net of allowance for uncollectibles):								
Accounts receivable	-	-	-	-	-	1,082	84,348	-
Inventory	-	-	-	-	-	-	-	183,648
Due from other governmental units	80,144	19,548	-	-	22,185	-	-	-
Total assets	<u>\$ 80,144</u>	<u>\$ 19,548</u>	<u>\$ 71,520</u>	<u>\$ 143,908</u>	<u>\$ 22,185</u>	<u>\$ 1,082</u>	<u>\$ 84,348</u>	<u>\$ 188,021</u>
<b>LIABILITIES AND FUND BALANCES</b>								
<b>Liabilities:</b>								
Reconciled overdraft	\$ 49,811	\$ 18,383	\$ -	\$ -	\$ 15,645	\$ 15,261	\$ 66,364	\$ -
Accounts payable and accrued expenses	30,333	70	1,348	-	12,727	-	-	506
Deposits held in escrow	-	-	-	-	-	20,240	-	-
Total liabilities	<u>\$ 80,144</u>	<u>\$ 18,453</u>	<u>\$ 1,348</u>	<u>\$ -</u>	<u>\$ 28,372</u>	<u>\$ 35,501</u>	<u>\$ 66,364</u>	<u>\$ 506</u>
<b>Fund balances:</b>								
<b>Nonspendable:</b>								
Inventory	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 183,648
<b>Restricted:</b>								
Public safety	-	1,095	70,172	-	-	-	-	-
Parks, recreation, and cultural	-	-	-	-	-	-	-	-
Community development	-	-	-	143,908	-	-	17,984	3,867
<b>Unassigned:</b>								
Special Revenue (deficit)	-	-	-	-	(6,187)	(34,419)	-	-
Total fund balances	<u>\$ -</u>	<u>\$ 1,095</u>	<u>\$ 70,172</u>	<u>\$ 143,908</u>	<u>\$ (6,187)</u>	<u>\$ (34,419)</u>	<u>\$ 17,984</u>	<u>\$ 187,515</u>
Total liabilities and fund balances	<u>\$ 80,144</u>	<u>\$ 19,548</u>	<u>\$ 71,520</u>	<u>\$ 143,908</u>	<u>\$ 22,185</u>	<u>\$ 1,082</u>	<u>\$ 84,348</u>	<u>\$ 188,021</u>

Cobbtown Grant Fund	Police Federal Forfeiture Fund	Police State Forfeiture Fund	Police Evidence Holding Fund	Camp Homestead Fund	Economic Development Fund	Willie Camp Younts Fund	Fire and Rescue Volunteers Fund	Southview Cemetery Trust Fund	Cemetery Perpetual Care Trust Fund	Charles Smith Cemetery Trust Fund	Total
\$ -	\$ 1,520	\$ 1,928	\$ 1,477	\$ 105,109	\$ 187,334	\$ 54,507	\$ 6,766	\$ 3,684	\$ 104,540	\$ 12,651	\$ 699,317
42,400	-	-	-	-	-	-	-	-	-	-	85,430
\$ 42,400	\$ 1,520	\$ 1,928	\$ 1,477	\$ 105,109	\$ 187,334	\$ 54,507	\$ 6,766	\$ 3,684	\$ 104,540	\$ 12,651	\$ 1,132,672
\$ 8,704	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 174,168
-	-	-	-	1,367	10,008	-	-	-	-	-	56,359
\$ 8,704	\$ -	\$ -	\$ -	\$ 1,367	\$ 18,921	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 29,153
\$ 8,704	\$ -	\$ -	\$ -	\$ 1,367	\$ 18,921	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 259,680
\$ 42,400	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 226,048
-	1,520	1,928	1,477	-	-	-	6,766	-	-	-	82,958
-	-	-	-	103,742	-	54,507	-	-	-	-	158,249
-	-	-	-	-	168,413	-	-	3,684	104,540	12,651	455,047
(8,704)	-	-	-	-	-	-	-	-	-	-	(49,310)
\$ 33,696	\$ 1,520	\$ 1,928	\$ 1,477	\$ 103,742	\$ 168,413	\$ 54,507	\$ 6,766	\$ 3,684	\$ 104,540	\$ 12,651	\$ 872,992
\$ 42,400	\$ 1,520	\$ 1,928	\$ 1,477	\$ 105,109	\$ 187,334	\$ 54,507	\$ 6,766	\$ 3,684	\$ 104,540	\$ 12,651	\$ 1,132,672

Value of Cooperation Agreement with Franklin Redevelopment and Housing Authority				
Agreement dated 9/27/04				
Lots titled to FHRA which the City is entitled to 1/2 of proceeds from sale				
As of June 30, 2011				
Unsold Lot	Square Footage	Proposed Lot Cost (max \$15,800)	City's Share	
8	6,219	\$ 12,400	\$ 6,200	120 Langston Court
40	7,510	\$ 15,000	\$ 7,500	414 Langston Street
41	8,062	\$ 15,800	\$ 7,900	412 Langston Street
9	7,743	\$ 15,500	\$ 7,750	132 Langston Court
10	6,160	\$ 12,300	\$ 6,150	136 Langston Court
19	6,921	\$ 13,800	\$ 6,900	117 Langston Court
			\$ 42,400	



10/17/16 14:49:35 Real Estate Maintenance REVIEW User BETTY  
 Acct# 000003649 001 CITY OF FRANKLIN eBill? L-Chg 9/18/2009  
 Owner/Name Address Adr Chg \*Status D \*Dist: 00 Batch  
 FRANKLIN REDEVELOPMENT & HOUSING SSN#1: SSN#2:  
 Tenant Name / Property Address  
 601 CAMPBELL AVENUE  
 FRANKLIN VA 23851 0000 000120 LANGSTON CT  
 FRANKLIN VA 23851  
 EDZ: CDA:  
 Dsc1 LOT 8 LANGSTON COURT Dsc2 \*Bkck Internet  
 Dsc3 Dsc4 \*Bkck E-Check  
 Map# MMM 138 XDD 2 DDD 17 BLK LOT 8 SUB  
 GPIN Grantor: FRANKLIN REDEVELOPMENT & HOUSING

Land	Acres (3)	182	Assessment	
Use	Class	7 1	*Zone R2	ID# Code
Impv.	Par. (1)/Cd		Date	00000000 Bill#
Mtn Land	Ty/Rn/Lnd	/	Batch	1st Half
Timber	P BkPg		St Excl	00 1H Addtl
Mineral	D BkPg			2nd Half
Tot Value	W BkPg		BIPermt	0000000 2H Addtl
Total Tax	Instrmt	0000 0000000 00		Tot. Tax
	Cons/Date	/ 00000000		Prort Dt 00000000 12

F3=Exit F4=Suppl F11=Transf F18=Attach F24=More Keys

10/17/16 14:50:10 Real Estate Maintenance REVIEW User BETTY  
 Acct# 000003650 001 CITY OF FRANKLIN eBill? L-Chg 9/18/2009  
 Owner/Name Address Adr Chg \*Status D \*Dist: 00 Batch  
 FRANKLIN REDEVELOPMENT & HOUSING SSN#1: SSN#2:  
 Tenant Name / Property Address  
 601 CAMPBELL AVENUE  
 000132 LANGSTON CT  
 FRANKLIN VA 23851  
 EDZ: CDA: 23851 0000  
 Dsc1 LOT 9 LANGSTON COURT Dsc2 \*Blck Internet  
 Dsc3 Dsc4 \*Blck E-Check  
 Map# MMM 138 XDD 2 DDD 17 BLK LOT 9 SUB  
 GPIN Grantor: FRANKLIN REDEVELOPMENT & HOUSING

Land	Acres (3)	228	Assessment	
Use	Class	7 1	*Zone R2	ID# Code
Impv.	Par. (1)/Cd		Date	00000000 Bill#
Mtn Land	Ty/Rn/Lnd	/	Batch	1st Half
Timber	P BkPg		St Excl	00 1H Addtl
Mineral	D BkPg			2nd Half
Tot Value	W BkPg		BIPermt	0000000 2H Addtl
Total Tax	Instrmt	0000	00000000	00 Tot. Tax
	Cons/Date		/ 00000000	Prort Dt 00000000 12

F3=Exit F4=Suppl F11=Transf F18=Attach F24=More Keys

10/17/16 14:50:35

Real Estate Maintenance REVIEW

User BETTY

Acct# 000003651

001 CITY OF FRANKLIN

eBill? \_

L-Chg 9/18/2009

Owner/Name Address Adr Chg \*Status \_

\*Dist: 00 \_

Batch

FRANKLIN REDEVELOPMENT & HOUSING

SSN#1:

SSN#2:

Tenant Name / Property Address

601 CAMPBELL AVENUE

000136 LANGSTON CT

FRANKLIN VA 23851 0000

FRANKLIN VA 23851

EDZ: CDA:

Dsc1 LOT 10 LANGSTON COURT

Dsc2

\*Blck Internet

Dsc3 Dsc4

\*Blck E-Check

Map# MMM 138 XDD 2 DDD 17 BLK LOT 10 SUB

GPIN Grantor: FRANKLIN REDEVELOPMENT & HOUSING

Land 14200 Acres (3) 141 Assessment

Use Class 7 1 \*Zone R2 ID# Code

Impv. Par.(1)/Cd Date 00000000 Bill#

Mtn Land Ty/Rn/Lnd / Batch 1st Half

Timber P BkPg St Excl 00 1H Addtl

Mineral D BkPg 2nd Half

Tot Value 14200 W BkPg BIPermt 0000000 2H Addtl

Total Tax Instrmt 0000 0000000 00 Tot. Tax

Cons/Date / 00000000 Prort Dt 00000000 12

F3=Exit

F4=Suppl

F11=Transf

F18=Attach

F24=More Keys

10/17/16 14:51:06

Real Estate Maintenance REVIEW

User BETTY  
L-Chg 9/18/2009

Acct# 000003660

001 CITY OF FRANKLIN

eBill? \_

Owner/Name Address Adr Chg \*Status \_

\*Dist: 00 \_

Batch

FRANKLIN REDEVELOPMENT & HOUSING

SSN#1: . . . . .

SSN#2: . . . . .

Tenant Name / Property Address

601 CAMPBELL AVENUE

000117 LANGSTON CT

FRANKLIN VA

23851 0000

FRANKLIN

VA 23851

EDZ: CDA: . . . . .

Dsc1 LOT 19 LANGSTON COURT

Dsc2

\*Blck Internet \_

Dsc3

Dsc4

\*Blck E-Check \_

Map# MMM 138 XDD 2 DDD 17 BLK

LOT 19 SUB

GPIN

Grantor: FRANKLIN REDEVELOPMENT & HOUSING

Land 14200

Acres (3) 159 Assessment

Use

Class 7 1 \*Zone R2 ID# Code

Impv.

Par.(1)/Cd

Date 00000000 Bill#

Mtn Land

Ty/Rn/Lnd /

Batch 1st Half

Timber

P BkPg

St Excl 00

Mineral

D BkPg

1H Addtl

Tot Value 14200

W BkPg

BIPermt 0000000

2H Addtl

Total Tax

Instrmt 0000 0000000 00

Tot. Tax

Cons/Date / 00000000

Prort Dt 00000000 12

F3=Exit

F4=Suppl

F11=Transf

F18=Attach

F24=More Keys

10/17/16 14:52:53 Real Estate Maintenance REVIEW User BETTY  
 Acct# 000000752 001 CITY OF FRANKLIN eBill? L-Chg 9/18/2009  
 Owner/Name Address Adr Chg Y \*Status D \*Dist: 00 Batch  
 FRANKLIN REDEVELOPMENT & HOUSING SSN#1: SSN#2:  
 AUTHORITY Tenant Name / Property Address  
 601 CAMPBELL AVENUE

FRANKLIN VA 23851 9401 000412 LANGSTON ST  
 EDZ: CDA: FRANKLIN VA 23851  
 Dsc1 LOT 41 LANGSTON ST Dsc2 \*Blck Internet  
 Dsc3 Dsc4 138-(059)-BLK M-41 \*Blck E-Check  
 Map# MMM 138 XDD 0 DDD 59 BLK M LOT 41 SUB  
 GPIN Grantor: CUTCHIN MARGARET ELIZABETH

Land	Acres (3)	129	Assessment		
Use	Class	7 1	*Zone	R2	ID#
Impv.	Par.	(1)/Cd	Date	00000000	Bill#
Mtn Land	Ty/Rn/Lnd	7	Batch		1st Half
Timber	P BkPg		St Excl	00	1H Addtl
Mineral	D BkPg		BIPermt	0000000	2H Addtl
Tot Value	W BkPg		Instrmt	04 0000 0004645 00	Tot. Tax
Total Tax	Cons/Date	30000 / 11122004	Prort Dt	00000000	12

F3=Exit F4=Suppl F11=Transf F18=Attach F24=More Keys

10/17/16 14:53:48

Real Estate Maintenance REVIEW

User BETTY  
L-Chg 9/18/2009

Acct# 000002387 001 CITY OF FRANKLIN

eBill? 00 000

Owner/Name Address Adr Chg Y \*Status D

SSN#1:

Batch  
SSN#2:

FRANKLIN REDEVELOPMENT & HOUSING

AUTHORITY

Tenant Name / Property Address

601 CAMPBELL AVENUE

000414 LANGSTON ST

FRANKLIN VA 23851 0000

FRANKLIN VA 23851

EDZ: CDA:

Dsc1 LOT 40 LANGSTON ST

Dsc2

\*Blck Internet

Dsc3

Dsc4 138-(059)-BLK M-40

\*Blck E-Check

Map# MMM 138 XDD 0 DDD 59 BLK M LOT 40 SUB

GPIN

Grantor: R & M NICHOLS REALTY ASSOC LP

Land	Acres (3)	115	Assessment		
Use	Class	7 1	*Zone R2	ID#	Code
Impv.	Par. (1)/Cd			Date	00000000
Mtn Land	Ty/Rn/Lnd	7		Batch	1st Half
Timber	P BkPg			St Excl	00
Mineral	D BkPg				1H Addtl
Tot Value	W BkPg			BIPermt	0000000
Total Tax	Instrmt	2005 0005254 00			2H Addtl
	Cons/Date	49000 / 12052005			Tot. Tax
					57.80
					Prort Dt
					00000000 12

F3=Exit

F4=Suppl

F11=Transf

F18=Attach

F24=More Keys



*Office of the City Manager  
Amanda C. Jarratt*

July 7, 2022

To: Franklin City Council

From: Amanda C. Jarratt, City Manager

Reference: Redistricting Ordinance

**Background Information**

The attached ordinance allows us to codify and update the City Code to reflect Map C that was previously adopted by Franklin City Council. A separate ordinance will be presented at a later date regarding polling places.

**Needed Action**

Adopt the ordinance as presented.

**AN ORDINANCE TO ESTABLISH ELECTION DISTRICTS; TO ESTABLISH PRECINCTS AND POLLING PLACES FOR ELECTION DISTRICTS; AND TO ESTABLISH A CENTRALIZED ABSENTEE VOTING PRECINCT.**

BE IT ORDAINED by the City Council of the City of Franklin, Virginia that:

Pursuant to the authorities contained in Title 24.2, Chapter 3 of the Code of Virginia, 1950, as amended, representation to City Council shall be by the election districts which are hereby created and established as set forth in this Ordinance. Further, pursuant to authorities contained in Title 24.2, Chapter 3 of the Code of Virginia, 1950 as amended, precincts for the respective election districts in the City of Franklin are established as set forth in this ordinance.

**ARTICLE II Election Districts and Polling Places**

---

**Division 1 Generally**

**§ 7.5-16 Establishment of election districts.**

The City is hereby divided into the following election districts bounded as outlined on the attached map of the City of Franklin, Virginia, which is made a part hereof, and described in § 7.5-24 et seq.

**§ 7.5-17 Establishment of precincts.**

The City shall be divided into seven precincts bounded as follows:

- (1) Precinct 1, the boundaries of which shall coincide with the boundaries of Election District 1.
- (2) Precinct 2, the boundaries of which shall coincide with the boundaries of Election District 2.
- (3) Precinct 3, the boundaries of which shall coincide with the boundaries of Election District 3.
- (4) Precinct 4, the boundaries of which shall coincide with the boundaries of Election District 4.
- (5) Precinct 5, the boundaries of which shall coincide with the boundaries of Election District 5.
- (6) Precinct 6, the boundaries of which shall coincide with the boundaries of Election District 6.
- (7) Central Absentee Precinct (CAP), the boundaries of which shall coincide with the City of Franklin.

**Division 2 District Boundaries**

**§ 7.5-24 Election District 1.**

District 1 shall be composed of the territory lying within the following described boundaries:



Beginning on the northern City limit line where it intersects North High Street; thence along North High Street in a southerly direction to its intersection with Fairview Drive; thence along Fairview Drive in a westerly direction to its intersection with Carrie Drive; thence along Carrie Drive in a southerly and westerly direction to its intersection with McCutcheon Street; thence along McCutcheon Street in a southerly direction to its intersection with Crescent Drive; thence along Crescent Drive in a westerly and northerly direction to its intersection with Fairview Drive; thence in a southwesterly direction along Fairview Drive to the intersection of Norfolk Southern Railroad; thence in a northwesterly direction along the Norfolk Southern Railroad to its intersection of Hunterdale Road; thence in a northwesterly direction along Hunterdale Road to its intersection with an unnamed road that is the entrance to the former Hunterdale Elementary School; thence in a westerly direction along the unnamed road to the western boundary of the City limit line; thence in a northerly direction along the western City limit line parallel to Hunterdale Road to a point where the City limit line turns west; thence in a westerly direction along the City limit line until the western City limit line turns in a northerly direction; thence in a northerly direction along the western City limit line until the City limit line turns easterly; and thence in generally easterly direction across Hunterdale Road along the northern City limit line to its intersection with North High Street, the point of beginning.

**§ 7.5-25 Election District 2.**

District 2 shall be composed of the territory lying within the following described boundaries:

Beginning at the intersection of Armory Drive and North College Drive; thence in a southwesterly direction along Armory Drive to its intersection with the western City limit line; thence meandering along the western City limit line in a generally northwesterly direction crossing over its intersection with Country Club Road to a point north of Country Club Road; thence in an easterly direction parallel to Country Club Road to a point where the City limit line turns north; thence in a northerly direction parallel to Hunterdale Road until the western City limit line intersects with the unnamed road that is the entrance to the former Hunterdale Elementary School; thence in an easterly direction along the unnamed road that is the entrance to the former Hunterdale Elementary School to its intersection with Hunterdale Road; thence in a southeasterly direction along Hunterdale Road to its intersection with the Norfolk Southern Railroad; thence southeasterly along the Norfolk Southern Railroad to the intersection of Fairview Drive; thence northeasterly along Fairview Drive to the intersection of Crescent Drive; thence following Crescent Drive in an easterly direction to the intersection of Forest Pine Road; thence southeasterly along Forest Pine Road to the intersection of Homestead Road; thence southerly along Homestead Road to the intersection of Clay Street; thence westerly along Clay Street to the intersection of Meadow Lane; thence southerly on Meadow Lane to the intersection of Sycamore Road; thence westerly along Sycamore Road to the intersection of North College Drive; thence southerly along North College Drive to the intersection of Armory Drive, the point of beginning.

**§ 7.5-26 Election District 3.**

District 3 shall be composed of the territory lying within the following boundaries:

Beginning at the intersection of West Second Avenue and Charles Street; thence in a southeasterly direction along Charles Street to its intersection with West 1st Avenue; thence along West 1st

Avenue in a northeasterly direction to its intersection with South High Street; thence along South High Street in a southeasterly direction to its intersection with the CSX Railroad; thence along the CSX Railroad in a southwesterly direction to its intersection with Yeidee Street; thence along Yeidee Street in a southeasterly direction to its intersection with West Barrett Street; thence along West Barrett Street in a southwesterly direction to its intersection with Hall Street; thence in a northwesterly direction along Hall Street to its intersection with Cool Spring Street; thence along Cool Spring Street in a southwesterly direction to its intersection with Bruce Street; thence in a northwesterly direction along Bruce Street to its intersection with Railroad Avenue; thence along Railroad Avenue in a southwesterly direction to its intersection with Wilson Street; thence south easterly direction along Wilson Street to the intersection of South Street; thence in a southwesterly direction along South Street to its intersection with the southwestern City limit line; thence along the City limit line in a northwesterly direction to its intersection with Armory Drive; thence in a northeasterly direction along Armory Drive to its intersection with Campbell Avenue; thence in an easterly direction along Armory Drive to the intersection of West Second Avenue; thence in an easterly direction along West Second Avenue to the intersection of Charles Street, the point of beginning.

**§ 7.5-27 Election District 4.**

District 4 shall be composed of the territory lying within the following boundaries:

Beginning at the intersection of South High Street and the CSX Railroad; thence along South High Street in a northwesterly direction to its intersection with West 1st Avenue; thence along West 1st Avenue in a southwesterly direction to its intersection with Charles Street; thence in a northwesterly direction along Charles Street to the intersection of Gardner Street; thence in a northeasterly direction along Gardner Street to the intersection of North High Street; thence in a northwesterly direction along North High Street to the intersection of the CSX Railroad; thence in an easterly direction along the CSX Railroad to its intersection with the eastern City limit line on the bank of the Blackwater River; thence meandering with the bank of the Blackwater River in a generally southeasterly direction to its intersection with the Virginia Power Company transmission line right-of-way; thence along the Virginia Power Company transmission line right-of-way in a westerly direction to Pretlow Street; thence in a northerly direction along Pretlow Street to its intersection with Bolling Street; thence westerly along Bolling Street to the intersection of Laural Street; thence along Laurel Street in a northerly direction to its intersection with South Street; thence along South Street in a westerly direction to its intersection with Wilson Street; thence in a northwesterly direction along Wilson Street to its intersection with Railroad Avenue; thence along Railroad Avenue in a northeasterly direction to its intersection with Bruce Street; thence in a southeasterly direction along Bruce Street to its intersection with Cool Spring Street; thence along Cool Spring Street in a northeasterly direction to its intersection with Hall Street; thence in a southeasterly direction along Hall Street to its intersection with West Barrett Street; thence along West Barrett Street in a northeasterly direction to its intersection with Yeidee Street; thence along Yeidee Street in a northwesterly direction to its intersection with the CSX Railroad; and thence along the CSX Railroad in a northwesterly direction to its intersection with South High Street, the point of beginning.

**§ 7.5-28 Election District 5.**

District 5 shall be composed of the territory lying within the following boundaries:

Beginning at the intersection of South Street and Laurel Street; thence in a southeasterly direction along Laurel Street to its intersection with Bolling Street; thence northeasterly along Bolling Street to the intersection of Pretlow Street; thence in a southeasterly direction along Pretlow Street to its intersection with the Virginia Power Company transmission line right-of-way; thence in a generally easterly direction along the Virginia Power Company transmission line right-of-way to the eastern City limit line on the bank of the Blackwater River; thence meandering with the bank of the Blackwater River in a generally southeasterly direction along the City limit line to its most southern point; thence along the southwestern City limit line in a generally northwesterly direction to its intersection with South Street; thence along South Street in a northeasterly direction to its intersection with Laurel Street, the point of beginning.

§ 7.5-29 **Election District 6.**

District 6 shall be composed of the territory lying within the following boundaries:

Beginning at the intersection of North High Street and the northern City limit line; thence along the northern City limit line in an easterly direction to the bank of the Blackwater River; thence meandering along the eastern City limit line on the bank of the Blackwater River in a generally southeasterly direction to its intersection of the CSX Railroad; thence in a westerly direction along the CSX Railroad to the intersection of High Street; thence in a southeasterly direction along North High Street to the intersection of Gardner Street; thence in a southerly direction along Gardner Street to the intersection of Charles Street; thence southeasterly along Charles Street to the intersection of West Second Avenue; thence southwesterly along West Second Avenue to the intersection of Armory Drive; then easterly along Armory Drive to the intersection of North College Drive; thence northwesterly along North College Drive to the intersection of Sycamore Road; thence easterly along Sycamore Road to the intersection of Meadow Lane; thence northerly along Meadow Lane to the intersection of Clay Street; thence southeasterly along Clay Street to the intersection of Homestead Road; thence northeasterly along Homestead Road to the intersection of Forest Pine Road; thence northwesterly along Forest Pine Road to the intersection of Crescent Drive; thence along Crescent Drive in a northeasterly direction to its intersection with McCutcheon Street; thence along McCutcheon Street in a northerly direction to its intersection with Carrie Drive; thence along Carrie Drive in a generally easterly and northerly direction to its intersection with Fairview Drive; thence along Fairview Drive in a northeasterly direction to its intersection with North High Street; and thence along North High Street in a northerly direction to the north City limit line, the point of beginning.

**AND BE IT FURTHER ORDAINED THAT,** should any section or provision of this Ordinance be decided to be invalid or unconstitutional, such decision shall not affect the validity or constitutionality of any other section or provision of this Ordinance.

**AND BE IT FURTHER ORDAINED THAT,** the City Registrar shall notify by mail no later than fifteen days, or such other time as is required by law, or regulation of the State Board of Elections, prior to the next general, special or primary election, which is scheduled to occur after the effective date of this Ordinance, all registered voters whose precinct and/or polling place has been changed by the provisions of this Ordinance.

**AND BE IT FURTHER ORDAINED THAT** any other Ordinances that conflict with this Ordinance shall be repealed to the extent necessary to give full force and effect to this Ordinance but shall otherwise remain in full force.

**AND BE IT FURTHER ORDAINED THAT** should any portion of this Ordinance be found to be in violation of the law and therefore be declared invalid by a court of competent jurisdiction, the remaining portions shall remain in full force and effect.

**BE IT FURTHER ORDAINED AND ENACTED,** that this ordinance shall become effective immediately upon enactment or within 45 days of the completion of the public notification provisions required pursuant to Virginia Code § 24.2-129(B), (C), whichever shall occur later, and shall apply to elections held on or after July 1, 2022.

**ADOPTED: This \_\_\_\_\_ day of \_\_\_\_\_ 2022.**

**AYES:**

**NAYS:**

**ABSTENTIONS:**

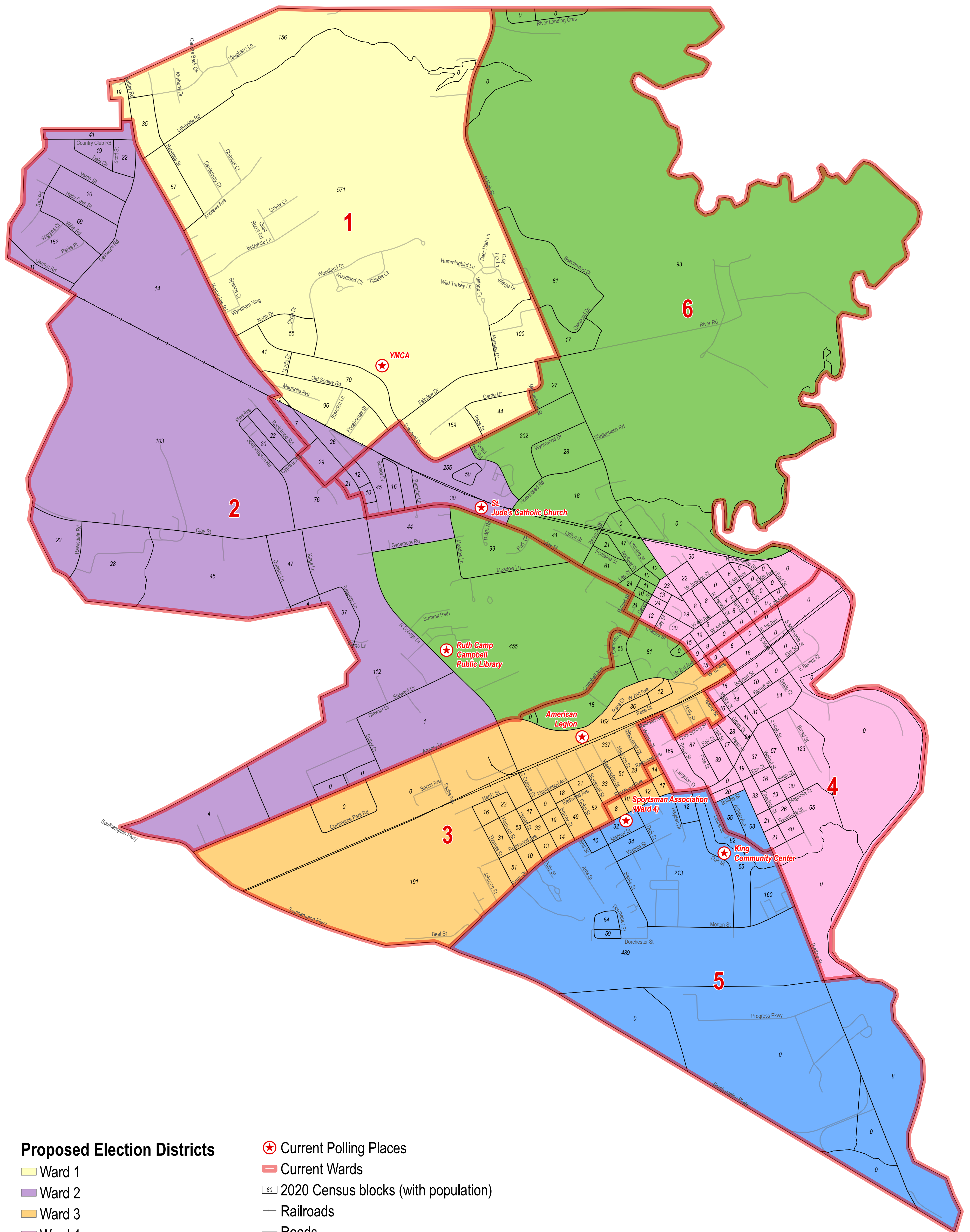
**ABSENT:**

**ATTEST:**

\_\_\_\_\_  
Clerk of the City Council of Franklin, Virginia



# Proposed Election Districts - Option C



### Proposed Election Districts

- Ward 1
- Ward 2
- Ward 3
- Ward 4
- Ward 5
- Ward 6

- ⊗ Current Polling Places
- Current Wards
- 2020 Census blocks (with population)
- Railroads
- Roads





*Office of the City Manager  
Amanda C. Jarratt*

July 6, 2022

To: Franklin City Council

From: Amanda C. Jarratt, City Manager

Reference: Armory Discussion

**Background Information**

As has been discussed in recent City Council meetings the time has come for City Council to make a decision about which direction to head in terms of the facility at the Armory. As you are aware the City of Franklin took possession of the facility at the conclusion of the National Guard's time there. In partnership with the Obici Healthcare Foundation and Camp Community College an assessment of the existing facility was done in the midst of COVID-19.

We are now at a juncture where we need to decide if we will proceed with renovation of the existing facility or demolition and the construction of a new facility with a gym. Staff's concern regarding pursuing renovation is that expense and the unknown. The architect's estimate in late 2020 regarding renovation ranged from \$4.6M to \$6.6M. At this degree of cost and due to the issues associated with the facility City staff would recommend demolition and construction of a new facility.

**Needed Action**

Provide direction to staff.





**Marine Chemist Service, Inc.**  
 11850 TUG BOAT LANE  
 NEWPORT NEWS, VA 23606-2527  
 TEL: (757) 873-0933 · NORFOLK (757) 640-1122  
 FAX: (757) 873-1074 · NORFOLK (757) 625-5696  
[www.MarineChemist.com](http://www.MarineChemist.com)

<b>Credentials</b>	<b>Agency</b>	<b>Scope</b>
Approval	DOD-US Navy	Resin
Accreditation	ABS	Hull Thickness
Accreditation	AIHA-LAP, LLC	<u>Laboratory ID: 100551</u>
	ELLAP	Paint, Soil, Wipe & Air
	EMLAP	Direct Examination: Air & Tape
	IHLAP	Asbestos: PCM
		Dust: Gravimetry
		Metals: Air
Accreditation	NIST	<u>Laboratory Code: 200628-0</u>
	NVLAP	Asbestos Bulk: PLM
Virginia Certification	VELAP	<u>Laboratory No: 460257</u>
	NELAC	RCRA 8 Metals: TCLP & NPW
Virginia Laboratory	DGS - DPOR	<u>License No.: 3333 000004</u>
		Asbestos: PLM & PCM

NOTE: Laboratory Credentials cover only to the scopes listed above.

September 5, 2020

PMA Architecture  
 10325 Warwick Boulevard  
 Newport News, Virginia 23601

Attention: Jeff Stodghill

Reference: 900 Armory Drive  
 Franklin, Virginia  
 MCS Job #20-131S

Dear Mr. Stodghill:

Please find enclosed the Asbestos Inspection Report, Lead Inspection Report and Lab Analyses for the above referenced job site.

If you have any questions, please do not hesitate to contact us.

Sincerely,

Shawn Cowden  
 Virginia Asbestos Inspector  
 License #3303 004066

**ASBESTOS INSPECTION REPORT  
OF  
900 ARMORY DRIVE  
FRANKLIN, VIRGINIA  
MCS JOB #20-131S**



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**Marine Chemist Service, Inc.**

**Asbestos Inspection Report**

**of**

**900 Armory Drive  
Franklin, Virginia**

**on**

**September 16<sup>th</sup> and 21<sup>st</sup> of 2020**

**Prepared for:**

**Jeff Stodghill  
PMA Architecture  
10325 Warwick Boulevard  
Newport News, Virginia 23601  
MCS Job #20-131S**

**By**

**Shawn Cowden  
Virginia Asbestos Inspector License #3303 004066  
Marine Chemist Service, Inc.  
11850 Tug Boat Lane  
Newport News, Virginia 23606  
(757) 873-0933**

October 5, 2020

Date

Inspector Signature



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**SECTION 1 -----Asbestos Inspection Report**

**SECTION 2 -----Sample Summary Table**

**SECTION 3 -----General Legend and Notes**

**SECTION 4 -----ACM Sketches**

**SECTION 5 -----Survey Sample Location Sketches**

**SECTION 6 -----Report of Analysis**

**SECTION 7 -----Inspection Information**

**SECTION 8 -----Credentials**



Marine Chemist Service, Inc.

# SECTION 1

## Asbestos Inspection Report

## ASBESTOS INSPECTION OF 900 ARMORY DRIVE FRANKLIN, VIRGINIA

### INTRODUCTION

#### **Background and Purpose**

There has been a growing public awareness of the link between the inhalation of asbestos fibers and various diseases such as asbestosis, mesothelioma, lung, and other cancers. As a result, the Asbestos Hazard Emergency Response Act (AHERA 40 CFR Part 763) for schools grades K through 12 was established by EPA.

The necessary components of an AHERA inspection require the accredited inspector to visually inspect and assess the condition of all known or assumed friable asbestos containing building materials (ACBM); to visually inspect non - friable ACBM and touch it to determine friability, and to identify homogeneous areas of friable materials.

EPA's National Emission Standards for Hazardous Air Pollutants (NESHAPS) require thorough inspections for asbestos in structures before the renovation or demolition of those structures.

Virginia law requires that if the initial building permit was issued prior to January 1, 1985, an asbestos inspection must be performed prior to the local authorities issuing a building permit.

In order to comply with NESHAPS, buildings to be renovated or demolished must be thoroughly inspected for asbestos containing building materials. Marine Chemist Service, Inc. follows the AHERA sampling protocol for interior surveys and the Virginia standard for roof surveys.

The purpose of this survey was to provide information for this property concerning the location and type of accessible and/or visible asbestos containing materials prior to renovation.

In compliance with Virginia Regulations, Marine Chemist Service Inc. performed asbestos sampling and a full asbestos inspection of the complex at 900 Armory Drive, located in Franklin, Virginia on September 16<sup>th</sup> and 21<sup>st</sup> of 2020.



### **General Information**

Marine Chemist Service, Inc. was hired by Jeff Stodghill, of PMA Architecture, on September 21, 2020 to conduct asbestos bulk sampling for suspect asbestos-containing building materials of 900 Armory Lane, located in Franklin, Virginia.

### **Authorization**

Authorization to perform this testing was provided in the form of a phone call notice to proceed by Jeff Stodghill on September 14, 2020. The building was unoccupied during the time of the inspection.

### **Warranty**

This visual inspection and laboratory report has been prepared in accordance with AHERA and Virginia requirements and current accepted professional practices. A minimum number of bulk asbestos samples were collected to determine the presence or absence of asbestos. This inspection has been performed to provide the client with information concerning the presence of accessible and/or exposed suspect asbestos containing building materials. Destructive testing was not performed. This inspection documents conditions at the time of the inspection only. No other warranties are implied or expressed.



## **SURVEY METHODS**

### **Inspection Methods**

The asbestos survey was performed by a Virginia licensed asbestos inspector. A visual walk through inspection was performed to identify suspect asbestos containing materials and homogeneous areas.

### **Sampling Methods**

The Virginia licensed asbestos inspector sampled the identified suspect materials within the homogeneous areas following the visual inspection. Sampling was not performed on any inaccessible materials and did not involve destructive testing of building components. Sample locations were selected randomly.

## **LABORATORY METHODS**

### **Analysis Methods**

The bulk sample was first visually observed and described. The sample was mounted onto a slide, covered with dispersion staining oil and a cover slip, and observed under a polarized light microscope (PLM). The asbestos and non-asbestos materials in the sample are identified by this method.

The PLM microscopist estimates the amounts of asbestos and non-asbestos components by determining visually the relative volume of each to the total volume of the sample.



## ASBESTOS INSPECTION

### Document Review and On-Site Survey

Blueprints were provided for the inspection and sketches were made upon which sample/asbestos material locations were marked.

### Identification of Suspect Asbestos Containing Materials

A visual inspection was performed on the suspect asbestos containing materials found in the surveyed areas. The suspect asbestos containing materials are as follows:

- |                              |                              |
|------------------------------|------------------------------|
| 1. 9" Floor Tile and Mastic  | 2. 12" Floor Tile and Mastic |
| 3. 4" Base Cove and Adhesive | 4. Block Sealer              |
| 5. Plaster                   | 6. 2' x 4' Ceiling Tile      |
| 7. Pipe Insulation           | 8. Mudded Elbows             |
| 9. Duct Sealer               | 10. Window Caulk             |
| 11. Window Glaze             | 12. Door Caulk               |
| 13. Block Sealer             | 14. Drywall                  |
| 15. Roof Membrane            | 16. Roof Vents               |
| 17. Roof Curb Flashing       | 18. Roof Parapet Flashing    |
| 19. Roof Drains              | 20. Roof Caulk               |



### **Bulk Sampling**

Bulk sampling was performed on all suspect asbestos-containing materials found in the areas and the minimum number of samples were taken as required in the AHERA Standards.

Bulk samples were taken penetrating all layers of the material. The samples were at least one cubic centimeter and were placed in a sealed container at the time of collection. All precautions were taken to prevent exposure to those present in or around the facility during the collection of samples. All sampling locations were patched with an encapsulant after the sampling was complete.

Samples listed below are grouped into homogeneous areas. Homogeneous areas are areas, which are uniform by color, texture, construction/application date, and general appearance.

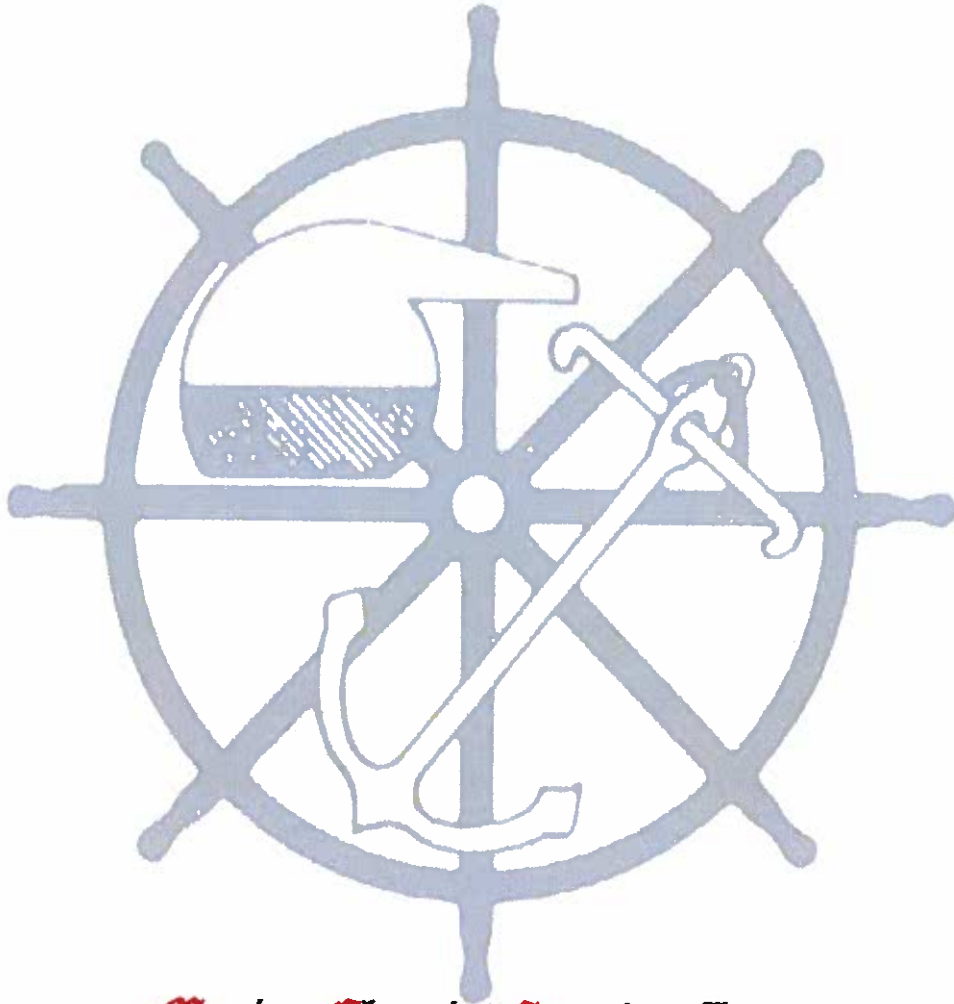
Some sample results in the % asbestos column may be displayed in this report with a slash between two numbers, (##/##). The first number represents the first material listed under the material location/description and the second number represents the second material listed.

When N/A is placed in the friable category it means the sample tested negative - (0) or less than one percent - ( $\leq 1\%$ ) for asbestos and the friable description does not apply.

Samples were analyzed utilizing Polarized Light Microscopy (PLM) with dispersion staining by a NVLAP accredited laboratory (Marine Chemist Service, Inc. NVLAP Lab Code 200628-0). The results are in section 6.



**LEAD INSPECTION REPORT  
OF  
900 ARMORY DRIVE  
FRANKLIN, VIRGINIA  
MCS JOB #20-131S**



***Marine Chemist Service, Inc.***  
11850 Tug Boat Lane, Newport News, VA 23606-2527  
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[www.MarineChemist.com](http://www.MarineChemist.com)



Marine Chemist Service, Inc.

**Lead Inspection Report**

**of**

**900 Armory Drive  
Franklin, Virginia**

**on**

**September 21, 2020**

**Prepared for:**

**Jeff Stodghill  
PMA Architecture  
10325 Warwick Boulevard  
Newport News, Virginia 23601  
MCS Job #20-131S**

**By**

**Shawn Cowden  
Marine Chemist Service, Inc.  
11850 Tug Boat Lane  
Newport News, Virginia 23606  
(757) 873-0933**

October 6, 2020

Date

Inspector Signature



## **INSPECTION FOR LEAD, 900 ARMORY DRIVE FRANKLIN, VIRGINIA**

Marine Chemist Service, Inc. performed an inspection and sampling of the complex for lead at 900 Armory Drive, located in Franklin, Virginia. The inspection was performed on September 21, 2020. The results of this inspection (which was not performed in accordance with the HUD Guidelines) are as follows:

### **Document, Review and On-Site Survey**

Blue prints were provided, upon which sample locations were indicated. There was no indication that a previous survey or sampling of painted surfaces had been conducted in the location. Each sample is listed with the top layer of paint being the first color identified when multiple layers are found.

### **Visual Inspection**

A visual inspection was performed in order to identify homogenous painted materials.

### **Bulk Sampling**

Bulk samples were taken penetrating all layers of the paint material. The quantity of paint for each sample was at least 5.0 grams in weight. Samples were placed in a container at the time of collection. All precautions were taken to prevent exposure to those present in or around the facility during the collection of samples.

Samples were taken for each distinct type of suspect paint/substrate being disturbed during demolition. The results of these samples are as follows.

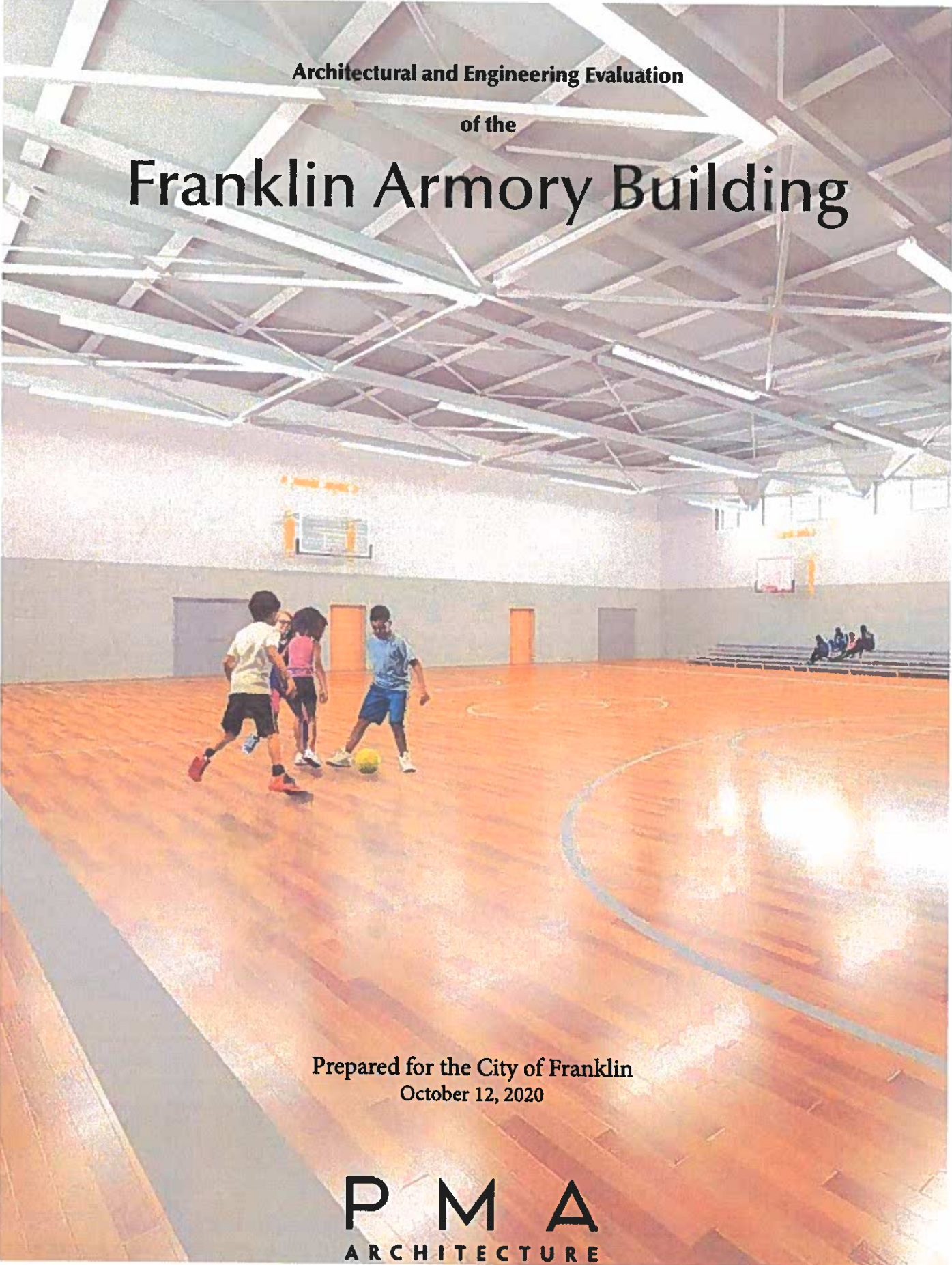
### **Symbols**

Pb = Lead



Lead Sample Results  
900 Armory Drive  
Franklin, Virginia

Sample Number	Lab Sample Number	Material Location/Description	% Pb
AD-P1	0131054-001	Room 204, Door Frame, White Paint	0.284
AD-P2	0131054-002	Gym Rear Door, White Paint	<0.005
AD-P3	0131054-003	Entrance Hall Wall, White Paint	<0.005
AD-P4	0131054-004	Front Entrance Support Beam, Beige Paint	0.498
AD-P5	0131054-005	Exterior Window Frame, Beige Paint	1.702
AD-P6	0131054-006	Gym Bay Door, Gray Paint	0.952
AD-P7	0131054-007	Gym Bay Door Frame, Gray Paint	1.129
AD-P8	0131054-008	Exterior Bay Door, White Paint	0.631
AD-P9	0131054-009	Exterior Bay Door Frame, White Paint	19.123
AD-P10	0131054-010	Boiler Room, Boiler, Blue Paint	<0.005
AD-P11	0131054-011	Boiler Room, Tank, Gray Paint	0.042
AD-P12	0131054-012	Room 205 Floor, Dark Gray Paint	<0.005
AD-P13	0131054-013	Building #16 Door, Green Paint	0.182
AD-P14	0131054-014	Building #16 Ballard, Orange Paint	1.392
AD-P15	0131054-015	Building #16 Bay Door, Green Paint	0.030
AD-P16	0131054-016	Building #16 Bay Door Frame, Green Paint	0.044
AD-P17	0131054-017	Building #16 Exterior Wall, White Paint	Voided
AD-P18	0131054-018	Building #15 Exterior Wall, White Paint	0.302
AD-P19	0131054-019	Building #15 Door, Black Paint	<0.005
AD-P20	0131054-020	Building #15 Door Frame, Black Paint	<0.005



Architectural and Engineering Evaluation  
of the  
**Franklin Armory Building**

Prepared for the City of Franklin  
October 12, 2020

**P M A**  
ARCHITECTURE

## **Executive Summary**



# Architectural and Engineering Evaluation of the Franklin Armory Building

October 12, 2020

## Executive Summary

This report provides an evaluation of the building and site at 900 Armory Drive in the City of Franklin, Virginia. This facility was constructed in 1953 as the second armory facility in the city. The National Guard has moved from the facility leaving it vacant. This evaluation was conducted by architects from PMA Architecture, located in Newport News, civil engineers from the Timmons Group, located in Richmond, engineers from Vansant and Gusler, Consulting Engineers located in Norfolk and structural engineers from TAM in Williamsburg. The scope of the evaluation is intended to examine the existing site and building to determine the feasibility and scope of work to rehabilitate the building and site so that it can continue to be used as a community and recreation facility.

Section 1 provides an overview of the architectural and engineering assessment of the site and building. The findings of the civil engineers at Timmons Group is provided in Section 2, along with their report on the Phase 1 Environmental Assessment. Section 3 provides the assessment of the structural engineer from TAM regarding the Armory building structure. Section 4 provides the detailed assessment of the engineers from Vansant and Gusler pertaining to the Mechanical, Electrical and Plumbing systems of the building along with their recommendations.

The building was abandoned by the National Guard because of many inadequacies that had developed with the building. Many of these inadequacies stem from its inability to provide for modern uses requiring heating and cooling, modern accessible restrooms and locker facilities, a clean, safe and inviting interior space. Long-deferred maintenance of the roof and building exterior have allowed roof leaks to develop and water to begin to enter the building envelope. Movement in the building structure has caused cracks to develop in the brick veneer, concrete masonry structural walls and other places on the exterior and interior. Much of the interior finishes and mechanical systems are obsolete and in advanced stages of deterioration.

In order to place the building back into use, work will be required to upgrade the building systems to meet current functional and code requirements. The exterior masonry walls will need remedial work and the building will need a new roof. Depending on the programs that are desired at this facility, interior changes will need to be considered including a rearrangement of the restrooms, determination of whether or not locker areas are required, confirming the kitchen requirements and what type of programs will be offered in the ancillary spaces surrounding the gymnasium space. Once the uses and programs can be identified, then a final building program and scope of work can be determined to guide a renovation project.

Despite the obsolescence of building systems and the advanced state of deterioration, the building remains relatively sound at this time. Problems with the roof, windows, brickwork and weather resistive systems can be dealt with through typical building rehabilitation design and construction solutions. Placing the building back in service will require meeting current functional requirements and building codes. For example, it is a common expectation for modern facilities to have air-conditioning systems with fresh air to provide for healthy indoor environments. Lighting should be through efficient LED fixtures to lower operational costs. Another example is that this building will need to be

## Architectural and Engineering Evaluation of the Franklin Armory Building

October 12, 2020

fire-sprinkled if is used for assembly purposes under the current building codes. Electrical systems will need to be replaced with an upgraded electrical service to handle the load for air-conditioning. Plumbing systems should be replaced to serve a new restroom arrangement. Repairs will need to be made to repair cracks in brick masonry veneer, interior concrete block structural walls, interior tile work and other areas. Settlement in floor slabs should be addressed in remedial work that may include foam injection under the slab and slab jacking. In essence, the building will need to be fully renovated to meet the functional needs of the community and the code requirements of the Twenty First Century.

Site work will also be required to place the building back into service. The existing drive entrances, parking lot paving and access drives are very deteriorated and will require reconstruction in order serve a new use at this location. Based on maximum occupancy of the building, it appears that 312 parking spaces will be required. This quantity of parking can be accommodated on the site, but it will require that all of the currently paved areas are demolished and repaved to meet current development standards. In addition, the stormwater drainage will need to be replaced and enhanced. New water service and sanitary laterals will be needed as well.

A Phase I Environmental Assessment was performed by Timmons Group and reveals that the site is free from environmental concerns requiring additional investigation as part of normal due diligence.

A survey was conducted by Marine Chemists, Inc. to identify lead paint and asbestos in the Armory building which is provided under separate cover. In general, there is lead in many of the painted surfaces of the building which will need to be abated and/or encapsulated as part of a renovation project. Asbestos appears to be limited to specific areas and typical sources. These hazardous materials will need to be properly abated as part of a renovation project, but are not issues that would prevent the practical re-use of the building.



## **Section 1 - Overall Assessment**

# Architectural and Engineering Evaluation of the Franklin Armory Building

October 12, 2020

## Background

The Franklin Armory Building at 900 Armory Drive in the City of Franklin, Virginia was built in 1953 to replace an earlier facility which was built in the early 20<sup>th</sup> Century. The existing facility was used by the Virginia National Guard until 2019 when they relocated and vacated the facility. City Records indicate that the building has a gross floor area of 11,908 square feet and the site consists of 5.28 acres. The armory building design is based on a Mid-20<sup>th</sup> Century modern style which includes elements of the International Style and Modern Style which are represented best by the horizontal window banding in the upper story, horizontal roof forms and "vee-shaped" columns of the front portico. These features give the building a distinctive style signature which is referred to now as "Mid Century Modern" and which has become vogue in current national culture. As such, the building represents a resurgent style for its period and given that it is relatively unaltered from its original design it has potential to be distinguished for its historic architectural style. In addition to its architectural style, the building has served the community over the past 67 years for community events, basketball games, dances, YMCA uses <sup>1</sup>, providing a strong community connection over this history to the citizens of the area. These cultural aspects provide a basis to consider recognizing the building as an historic landmark.



Figure 1 - Aerial Photo of Amory Site - Google Earth

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1 Article: [Virginia National Guard Leaving Armory](#), The Tidewater News, August 16, 2019 by Stephen Cowles.

# Architectural and Engineering Evaluation of the Franklin Armory Building

October 12, 2020

## The Scope of the Evaluation

This evaluation involves assessing the condition of the existing building and its potential for re-use for the following activities and programs that may be considered by the community<sup>2</sup>.

- Community-related basketball and court-related sports in the gymnasium space.
- Community College-related basketball sports in the gymnasium space.
- Community events, including food related events requiring food preparation.
- Community-based programs for non-profit organizations which require program/office space.

The evaluation of the building and site was conducted by architects from PMA Architecture in association with engineers from Vansant and Gusler Consulting Engineers, TAM Con and Timmons Group in order to assess the building shell, building code requirements, the building systems and the site. In addition, a lead paint survey and asbestos survey was performed by Marine Chemist Service, Inc. to identify the presence of lead paint and asbestos in the finish materials of the building. This report provides an evaluation of the following aspects of the existing building related to its existing condition and potential for reuse as described above:

- Condition of the Site - modify as needed
- Phase I Environmental Assessment
- Architectural Evaluation
- Structural System Evaluation
- Mechanical Systems Evaluation
- Plumbing System Evaluation
- Electrical System Evaluation
- Architects Opinion of Cost to Renovate the Building

**Condition of the Site** – Civil engineers at Timmons Group have visited the site and prepared an analysis of the condition of the site and prepared a Phase I Environmental Assessment. These reports are provided in Section 2 for reference and summarized here as follows:

The existing site contains approximately 5.28 acres of land according to City of Franklin tax records as shown in Figure 1. The property is Zoned B-1 Neighborhood Business. The site has good public access via Armory Drive and Campbell Avenue. Water is provided to the site by a 10" line from Armory Drive and an 8" line on Campbell Avenue. Public Works has noted that the existing water line and fire service lines serving the site should be replaced. Sanitary sewer is located along Armory Drive and another line is available on Campbell Avenue. Due to the age of the facility and the lateral, it is good practice and recommended that the lateral serving the building should be replaced. Stormwater will have to be analyzed and developed around any proposed redevelopment of the site. The southeastern side of the site along Armory Drive is in the FEMA Zone X (500 YR) flood plan which will present obstacles for flood protection. Electrical Power is available to the site from an overhead line along Campbell Avenue. Gas Service does not appear to be available at the site at this time.

The parking lots, drive aisles and entrances are heavily deteriorated and will require reconstruction and improvements to meet site plan development standards for a new use, including provisions for stormwater drainage, compliance with stormwater regulations and lighting.

The Phase I Environmental Assessment of the site is included in Section 2. In general, the assessment did

<sup>2</sup> The potential re-use of the building is not limited to the uses listed above. Other potential uses are possible. If other uses are considered or proposed, then additional investigations may be needed or required to determine functional requirements, code compliance requirements and/or site amenity requirements.

# Architectural and Engineering Evaluation of the Franklin Armory Building

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not identify recognized environmental conditions (REC) on the site which constitute hazardous environmental conditions related to the site. The Timmons report concludes that no further assessment is recommended in terms of due diligence related to the site.

**Architectural Evaluation of the Building** – Architects from PMA Architecture visited the site and visually examined the condition of the building<sup>3</sup>. The building was laser scanned to document the interior and exterior and from this data a 3D model was developed in Revit format to produce CAD drawings of the building. Illustrations of these drawings building are shown in Figure 2 and Figure 3.

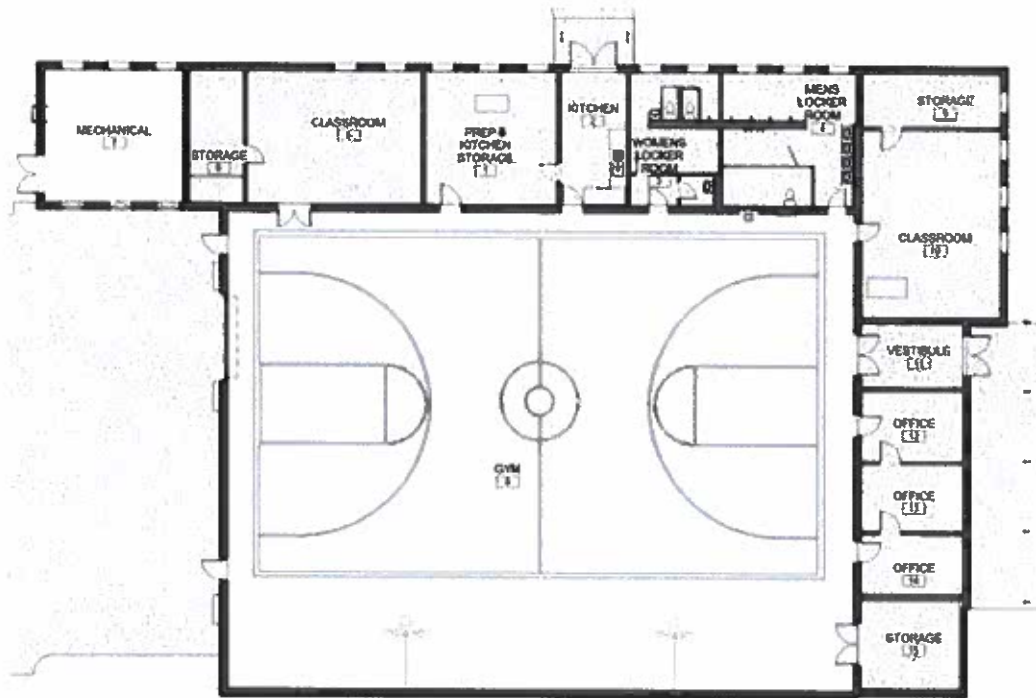


Figure 2 - Floor Plan of the Armory Building

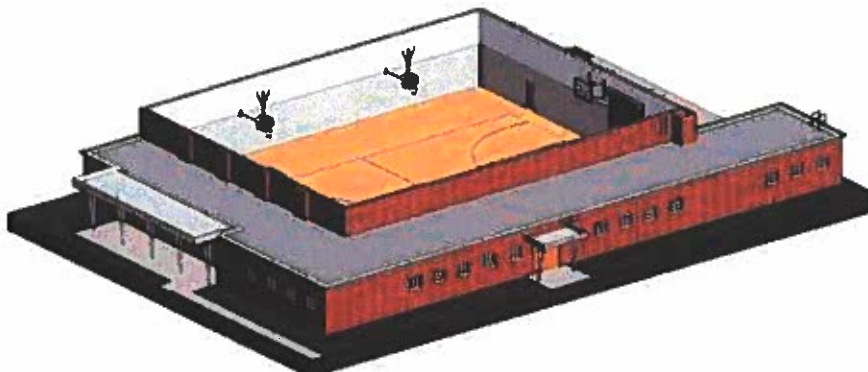


Figure 3 - 3D view of the Armory Building

3 The architect's evaluation consists of a visual examination of the building and therefore, conditions which are concealed were not observed.

# Architectural and Engineering Evaluation of the Franklin Armory Building

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Figure 4 - View looking toward the Front of the Building - facing West.



Figure 5 - View looking toward the South Facade of the Building - facing North.



Figure 6 - View looking toward the Back of the Building - facing Southeast.



Figure 7 - View looking toward the side of the Building - facing Southwest.

# Architectural and Engineering Evaluation of the Franklin Armory Building

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The building condition, while structurally sound, is exhibiting the effects of age, deferred maintenance and some building system failures that are causing many of the defects that are associated with cracked walls, floor slab settlement and brick cracking. Most of these problems can be addressed by remedial measures directed at addressing the underlying issues. In some cases (e.g. masonry cracking due to thermal conditions), remedial measures can only repair the existing conditions for a certain period of time because the underlying movements will continue to occur. The following is a summary of the evaluation of the existing architectural building systems:

**Roof** - the existing roofs are low-slope roof structures that drain to their perimeter areas and are typically served by gutters or through-wall conductor heads and downspouts. In general, the entire building should receive a new low slope roof. This conclusion is based on several factors. First, the roof over the gymnasium space is advanced in age and already showing evidence of leaks which may have damaged the Tectum roof decking. Additional investigation should be undertaken to determine if the roof decking is damaged and in need of replacement in the areas of damage. Second, the lower roof areas are not draining adequately as evidenced by ponding water. Third, in considering new uses for the building and the possibility of renovations, the top priorities should be placed on replacing the systems of the building that keep water out of the structure and will provide a long-term solution to protect the other investments that will be made in the renovation and re-purposing of the facility. Therefore, it is recommended that a new roof be installed on all portions of the building, including tapered insulation at a thickness to meet the current energy code requirements. In addition, all flashing, gutters and downspouts should be replaced. Downspouts should be piped into a stormwater system which also features an overflow protection design in case the stormwater system becomes saturated. A 2-ply modified bitumen roof system is recommended for its long service life and resistance to abuse.

**Exterior Walls** – the exterior wall construction is typically brick veneer with concrete masonry units (CMU) as the structural core for the wall structure. As noted in the structural engineer's report in Section 3, the exterior walls are exhibiting cracking and failure which are the result of thermal movements, settlements, corrosion of the steel lintels and structure. The primary structure of the gymnasium utilizes a steel frame embedded into the CMU masonry wall structure. It is very important to repair the exterior brick veneer and window penetrations to ensure that water does not reach the steel. Therefore, all windows should be removed and replaced with new windows and flashing and properly sealed to ensure proper water management. In addition, all steel lintels that support brick and CMU should be further evaluated and should be replaced with stainless steel lintels and properly flashed. This will ensure that this type of damage will not recur. Cracking in the exterior brick veneer can be addressed by repointing the brick<sup>4</sup>. There is an area where precast concrete panels are used to face the building at the main entrance. These panels should be cleaned and the joints should be sealed with a commercial sealant colored to match the panel color. At this time the surface conduits should be removed and the precast concrete panels should be repaired and cleaned. Additional remedial work cited in the structural engineer's report should be performed as part of the renovation work.

Brick Masonry veneer can be repaired and repointed as necessary to restore its appearance and performance. It is recommended that a clear water-repellant be applied to the brick to further enhance its ability to shed wind-driven rain. A

**Interior Masonry Walls** - The interior walls are concrete masonry construction of varying thicknesses. Cracking is evident in many of these walls which appears to be the result of floor settlement and thermal movements in the exterior walls. Floor settlement can be observed in Gymnasium space, Restroom/Locker

<sup>4</sup> Repointing involves removing the existing mortar in a cracked mortar joint and installing new mortar to fill the void. It is important to match the mortar both in chemical composition, type of cement, strength, aggregate and cement color to ensure a finished condition that matches the original.



# Architectural and Engineering Evaluation of the Franklin Armory Building

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Room areas and Kitchen areas where evidence suggests that the floor slab has lowered over the life of the building in some areas. This can be caused by (1) soil settlement under the slab after the initial construction, (2) or overloading of the floor slab, (3) failure of the plumbing waste lines under the slab or (4) floor overloading due to use of the building over time. Remedial work to the floor slab should include abandonment of the existing underground plumbing system and installation of a new PVC waste system. In addition, it is recommended that the foam injection be utilized under the slab to fill and support the slab in areas where settlement has occurred. Interior walls that have cracked and settled can be patched to fill voids. New finishes can be installed over the existing walls if required or desired. It may be advisable in the Restrooms to remove CMU partitions and reinstall these where new plumbing is to be installed.

**Windows and Doors** - The windows and doors in the facility should be replaced with new windows, door frames and doors in order to upgrade these obsolete features with new windows and doors that are superior in providing better insulating and water-resistant qualities. All door hardware should be replaced. The overhead door at the Gymnasium should be replaced with a new door.

**Finishes** – The floor finishes and suspended ceiling systems should be replaced in their entirety. A new gymnasium floor should be installed which is appropriate for the new use intended for this space. If competition basketball is desired, then a new hard maple floor with a suspension system should be installed over the concrete slab. A waterproofing system will be required over the existing floor slab in order to install wood over the concrete slab. New acoustical treatments should be considered for the gymnasium space.

**Kitchen** – In considering new uses for the building, the Kitchen space should be evaluated to determine if this is needed or desired in the repurposed facility. Improvements will need to be made to this space if a kitchen is desired and many improvements will need to be made in order to bring this up to code and meet health department standards. One of the requirements will be to provide a code complaint grease trap in the plumbing system. The exhaust hood in the building is relatively new and can be considered for reuse.

**Accessibility for Disabled Users** – Given that the facility is a one-story building it will be very practical to provide accessibility that is needed for disabled users. Modest sloped sidewalks can be utilized to provide accessible entrances from the parking lot. Accessible parking spaces will need to be developed in sufficient quantity adjacent to the building as part of an improved parking lot design. Doorways will need to be upgraded with appropriate hardware to be accessible. The restrooms will need to be completely reconfigured in order to meet accessibility standards.

**Building Code Compliance** – Reuse of the building will require upgrades of the building to meet current building codes in many areas. It is assumed that the building will be reused as a place of assembly which includes uses like a gymnasium, an assembly hall, or a banquet hall. An analysis of the 2015 Virginia Construction Code (2015 VCC) reveals the following findings:

- + The existing area of 11,908 square feet is allowable as an Assembly Use (A3) when considering the building construction as Type II B (Non-combustible construction, unprotected). In order to meet this requirement all interior wall construction must be non-combustible materials.
- + The building will require fire sprinkling based on the maximum potential occupancy of the Gymnasium space. Additional exit doors are required to meet current life-safety code requirements.
- + An NFPA complaint fire alarm will need to be added to the building.
- + Doors will need to be replaced and provided with panic hardware
- + Accessibility improvements will need to be made.

# Architectural and Engineering Evaluation of the Franklin Armory Building

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- + Additional exits will need to be provided to serve the gymnasium space in order to meet current building code.
- + Restrooms will need to be completely replaced with accessible and compliant arrangements and fixtures.
- + Lighting will need to be replaced to provide minimum lighting levels per code.
- + Heating, Cooling and Ventilation will need to be completely redesigned to provide an appropriate interior conditioning system that meets the energy code.
- + Compliance with the energy code will require additional insulation, upgrades of windows and doors with code compliant insulation and glazing. In addition, the exterior walls may require additional insulation based on final design calculations for energy code compliance.
- + Interior signage will need to be provided to meet code requirements.
- + Trash facilities will need to be provided per local site plan requirements.
- + Occupancy Capacity – Analysis of the potential occupancy of the building indicates that the total anticipated occupancy load would be 1,357 persons in the gymnasium space and an additional 164 persons in other associated interior spaces for a total of 1,521 persons.
- + Parking Capacity – Based on the anticipated occupancy, the anticipated parking requirement is 312 spaces based on the City of Franklin Zoning Ordinance<sup>5</sup>. The parking lot, including drive aisles and circulation, is projected to require 2.87 acres based on a planning figure of 400 square feet per parking space.

**Condition of the Existing Metal Buildings** – At the time of the survey, these buildings were not accessible. In general, these buildings can be considered for reuse as utilitarian structures for storage of equipment or materials. These structures are constructed of screw-through metal panels which do not provide the resistance to weather needed in a permanent structure for occupancy where control of the interior environment is needed. In our opinion, it will not be cost effective to upgrade these structures with proper heating, cooling, insulation and moisture control systems. These structures are 2,500 and 1,600 square feet in floor area respectively.

**Condition of the Armory Building Structural System** – The structure can be considered as sound and suitable for reuse given the following remedial work, as recommended by the TAM structural evaluation in Section 3.

- Cracking of interior CMU walls should be repaired.
- Gymnasium clerestory windows need remedial work to correct cracked masonry and shifted framework. Consider removing vents and strengthening the steel and lintel at the opening.
- Repair masonry cracks observed in the mechanical room.
- Replace steel lintels in exterior brick walls at doors and windows.
- Repair the vertical cracks between low roof and gymnasium.
- Repair all mortar joints at precast concrete.
- Address roof leaks.
- Install helical ties and tuckpoint mortar joints at all openings.
- Consider slab jacking to fill voids and raise slabs to correct elevation.
- At vertical wall joints where no bonding of masonry exists, install a mechanical bond with vertical steel angle.

**Heating, Air-conditioning and Ventilation System Summary** – Mechanical engineers from Vansant and Gusler, Consulting Engineers have prepared an evaluation of the mechanical systems of the existing building and proposed the following improvements to the building to accom-

5 City of Franklin Zoning Ordinance, Article 18, Section 18.2 – assuming Assembly use.



# Architectural and Engineering Evaluation of the Franklin Armory Building

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modate its continued use as an assembly place under the Virginia Construction Code (VCC), as provided in Section 4:

- + Replace the entire heating and ventilation system with a new system to meet Energy Code requirements with a system capable of air-conditioning the entire facility.<sup>6</sup>
- + Provide required fresh air as required under new codes and Energy Code.
- + Provide a Digital Control System for programming, remote monitoring and energy management of the system.
- + Retain the existing mini-split air-conditioner equipment for possible re-use.

**Electrical System Summary** - Electrical engineers from Vansant and Gusler, Consulting Engineers have prepared an evaluation of the electrical system in the existing building as provided in Section 4. The original electrical system appeared to be a 208Y/120-volt system. This has been replaced by a 120/240 -volt electrical system. The newer system is showing signs of wear and corrosion. In addition, there are missing breakers and openings in the cover plate to the panel that render this unsafe. The following recommendations are made regarding the electrical system needed for a renovated facility:

- + Upgrade the electrical system to 480 volts, 3 Phase to accommodate the anticipated loads from mechanical and air-conditioning equipment.
- + Move the electrical system and distribution panels to a dedicated electrical closet/room for safety purposes.
- + Upgrade lighting to LED for efficiency.
- + Install a new fire alarm system.
- + Install a new communications system with network and telephone wiring.

**Plumbing System Summary** – Plumbing engineers from Vansant and Gusler, Consulting Engineers have prepared an evaluation of the existing plumbing system serving the building as presented in Section 4. In general, it is recommended that additional investigation of the sanitary waste lines could be performed to better assess its condition and ability to be reused. The following is recommended:

- + Upgrade the Restroom plumbing to meet anticipated restroom requirements. This will involve a new layout and the plumbing will have to be modified to accomplish this.
- + Replace the hot and cold-water supply piping as required for the anticipated new uses.
- + Ensure backflow preventer is installed.
- + Provide a new fire sprinkler line to the building.

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<sup>6</sup> Note: This will require the electrical system to be increased to handle the air-conditioning load. As mentioned in the Electrical section of the Vansant and Gusler report (Section 4 of this report) the electrical service will need to be increased to 480 volts, 3 Phase.

## **Section 2 - Site Assessment**

# **FRANKLIN ARMORY**

9/21/2020

Civil / Site / Utility Narrative

## **Site Information**



**900 Armory Drive, Franklin, Virginia**

**Acreage: 5.28 Acres**

**Zoning: B-1 Neighborhood Business**

**Setbacks: 25' (Chapter D Article X Division 3)**

**Building Height: 30'**



**Soils:**

- **C-Soils**
  - **Roanoke Loam, 0 to 2 percent slopes, occasionally flooded**
- **D-Soils**
  - **Craven Fine Sandy Loam, 0 to 2 percent slopes**

### **Layout**

The existing buildings combine for an estimated 16,841 square feet and feature exterior parking in the surrounding area. There is a large gravel lot south of the existing buildings, adjacent to an asphalt loop and lot connecting Campbell Avenue and Armory Drive, covering approximately 2.56 ac. The gravel lot has two entrances on Campbell Avenue and three on Armory Drive, while the asphalt lot has one on Campbell and two on Armory Drive. There is also a secured lot southwest of the building used for storing National Guard vehicles and accessing the rear of the building, which has a single entrance onto Campbell Avenue.

### **Parking**

Parking requirements, as part of Chapter D, Article XVIII, Division II of the City of Franklin Zoning Ordinance, is regulated to a "minimum of one space per four seats or four persons based on the occupancy load, whichever is greater, plus one additional space per employee and maximum of one space per three seats or three persons based on the occupancy load, whichever is greater plus one additional space per employee."

### **Erosion and Sediment Control**

All erosion and sediment control measures will be in accordance with the Virginia Erosion and Sediment Control Handbook (VESCH) by the Department of Environmental Quality (DEQ). The erosion and sediment control plan must be reviewed and approved by the City of Franklin. Upon completion of a topographic survey, temporary sediment trap(s) will be in the appropriate location(s). Silt fence will be installed at the site perimeter. Temporary seeding will be required to provide temporary stabilization of the site during construction. One construction entrance will be installed at the gravel entrance to the site adjacent to the asphalt loop. The staging and stockpile location will be on-site.

### **Grading / Earthwork**

The site will be graded to tie to the existing grades around the site perimeter including the existing sidewalks and at the driveways.



**Domestic and Fire Water**



**Water Mains and Hydrants**

Based on water utility information gathered from City of Franklin GIS, there is an existing 10" water main along Armory Drive, and an 8" main along Campbell Avenue that terminates at a hydrant. Water services the site from Armory Drive, branching near the existing hydrant at the entrance to the parking lot and running behind the lot before angling 90 degrees into the building, confirmed by Steve Watson from Franklin County Public Works. This line is known to have caused issues in the past and will be replaced with new 2" domestic service and 6" fire service lines along the original alignment, or alternatively a new alignment from the Northwest side of the building that ties to the 6" main on Campbell Avenue. Hydrant tests can be performed on Campbell Avenue to check for fire flow adequacy.

## Sanitary Sewer



**Sanitary Sewer Mains and Manholes**

Based on sanitary sewer utility information gathered from City of Franklin GIS, there is an existing sanitary sewer main running along Armory Drive that laterals onto the site along the back of the asphalt parking lot and then crossing to the building. This lateral onto the site should be replaced due to the age and material of the system, and to match downstream improvements that have been completed recently. There is another main on Campbell Avenue that terminates at the entrance to the asphalt lot on Campbell Avenue.

**Drainage and Stormwater Management**



**Stormwater Pipes and Structures**

This site must comply with the new Virginia Stormwater Management Regulations (Part IIB). Compliance with water quantity channel and flood protection is to be met through small measures such as grass channels due to the redevelopment status of the site. The amount of new impervious area would need to be analyzed to determine the impact on quality and quantity of runoff and inform a stormwater management solution.



**FEMA Flood Zones**



**FEMA Flood Zone Map (Pink = Zone X, Blue = Zone AE)**

Based on FEMA flood maps provided by the City of Franklin GIS, the southeastern side of the site bordering Armory Drive is in FEMA Zone X (500 YR). This may present some obstacles for flood protection of stormwater management due to the location of stormwater lines draining to the affected channel.

**Power**



**Power Lines**

Based on power utility information provided by the City of Franklin GIS, there is an existing overhead power line running along Campbell Avenue that services the existing buildings onsite.

**Gas**

No natural gas information was located for this site. It is assumed that there is no natural gas service in this area.



## **Recommended Site Improvements**



**Entrances around the site are currently heavily deteriorated, with cracks and potholes at multiple, and sidewalks uneven and sloping. The entrances and sidewalks around the site should be replaced to provide smooth egress onto the site for both vehicles and pedestrians.**



The existing gravel lot is heavily worn and eroded. This lot should be paved with asphalt or resurfaced with new gravel to flatten the surface and remove potholes.





Due to the poor condition of the existing asphalt as shown above, mill and overlay of all asphalt should be performed to remove cracks and smooth the surface while mitigating further deterioration.



**Additionally, concrete curb and gutter should be installed on the existing lot to replace the existing metal split railing that is currently present. This will improve the layout of the parking lot and aid stormwater drainage to the swales around the site.**



**The existing swales around the site should be regraded to remove sediment from pipe outlets and concrete debris in the ditch. This will promote stormwater drainage from the site.**

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August 27, 2020

Jeff Stodghill  
PMA Architecture  
10325 Warwick Boulevard  
Hilton Village, Virginia 23601  
(757) 569-8200  
[TJS@PMAarchitecture.com](mailto:TJS@PMAarchitecture.com)

**Subject: Franklin Paul D. Camp: Armory Building Structural Review  
900 Armory Dr, Franklin, VA 23851  
TAM Project No. 20298-W**

Attachments: a) Photos

Dear Mr. Jeff Stodghill:

In accordance with your request, we have completed a visual review of portions of the structure located at 900 Armory Dr in Franklin, Virginia. We were requested to review the structure from a general structural overview and to provide an opinion regarding the structure's suitability for conversion into a multi-purpose sport and administration center and what recommended actions, if any, should be taken at this time.

We reviewed the building on the afternoon of Wednesday August 07, 2020 with you. At the time of our visit, we conducted a review of the interior and exterior of the building, as well as portions of the roof checking for evidence of significant structural distress. We took notes and also collected photographs of pertinent areas, some of which are included in this report.

This building is multi-wythe masonry building with two roof levels. A higher roof composed of steel trusses, tectum decking, tapered insulation, and a black single ply-membrane roof is framing over an open basketball gymnasium. This gym has clerestory windows and fans on the two longer sides (left and right side of the space). A lower roof composed of open web steel bar joists, decking, and a white single-ply membrane roof wrap the gymnasium on the front and right sides of the building. This lower roof is framing over office spaces, restrooms and lockers, and general spaces that serve the gymnasium.

*Note: For convention in this report, the right and left of the building are based upon a view looking at the front of the building from the street.*



## **OBSERVATIONS:**

### **Interior:**

- While walking the gymnasium space we noted that the roof is a steel framed truss supported by steel wide flange columns that are integral to the walls. The walls, from the inside, appear to be concrete unit masonry (CMU). The clerestory has a steel beam that is clad with block material, but the bottom flange or plate is still visible. We did not note any control joints, but the inclusion of steel columns can act as expansion joints for the interior masonry.
- While reviewing the structure from inside the gymnasium we noted multiple areas of the interior CMU cracks. These cracks ranged from step cracks to vertical and horizontal in nature.
- We noted that the gymnasium walls have a tan colored wall tile which appears to be adhered directly to the masonry wall. This tile is indicating numerous areas of diagonal step cracking, horizontal joints, and other signs of movement. We noted one significant horizontal crack at the rear wall which was in excess of ½" wide and missing grout.
- We noted that the gymnasium side walls (left and right) both have a long clerestory window. The outside windows, nearest the front and nearest the rear of the space are outside of the steel columns. These windows have a steel header over them and appear to have shifted inward into the gym space. We observed cracking at the supposed bearing points and diagonal cracks above.
- While inside the mechanical room at the rear of the building, we noted numerous vertical cracks, cracks around openings, and a separation of the rear and rightmost wall. It appears that the CMU was not keyed into each other at this corner.

### **Exterior:**

- While walking the exterior of the building we noted that the steel angle lintels at the majority of the window and door openings are rusting. In some locations this expansion of rust has resulted in step cracking extending up and out away from the window headers.
- We noted a large brick crack at the left side of the building. This crack is a vertical joint where the lower wall intersects the taller gymnasium wall.
- We noted numerous decorative precast header, sill, and jamb sections around the windows have shifted and have completely eroded mortar joints. These joints are allowing water and debris into the wall system.
- In reviewing the brick, the majority of the mortar joints appear to be in serviceable condition and not in need of substantial repointing.



## Roof:

- When observing the underside of the gymnasium roof from the interior with an Infrared camera, we noted what appears to be an area of possible roof leak. This is shown as a thermal variation on the roof deck.
- When observing the roof from above and walking the roof surface we noted that the lower roof's white membrane was nearly entirely covered in water. The roof has ponding upwards of an inch deep and in some cases extend substantial areas of the structure below.
- We noted that the copper let-in and counter flashing appears to have been bent up and down numerous times in its life and is appearing to no longer be able to lay flat against the brick. The presence of a bottom reglet was not noted.

## **CONCLUSIONS & RECOMMENDATIONS:**

1. Based on our observations of the masonry cracks and types of construction it is our opinion that the building has gone through cycles of shifting in vertical and horizontal directions. The exterior brick above the low roofs will expand over its life while the protected masonry (inside and below the lower roof) will contract slightly, this is common for exposed brick and CMU. The unequal expansion and contraction within a single wall system can result in vertical and step cracks as wall lengths change. These CMU mortar cracks should be tuckpointed and repaired. If they reoccur additional review of the new patterns may be warranted.
2. The four outer openings on the gym clerestory, two are fans, we are observed that the structure above the windows is shifting inward. This condition does not appear to be related to the fan installation, although that may contribute.

It is our opinion this condition is related to the initial construction where a 8" deep steel beam header appear to connect to the steel column, span the opening, and is likely supported by the masonry wall below. This area has likely rusted, the wall has shifted due to difference in materials, thermal movements of steel relative to brick, and other sources have caused the current conditions.

We recommend that the mortar joints around the openings be tuckpointed with a stainless-steel helical tie embedded into the mortar spanning transverse to every crack pattern available. This will act as additional joint reinforcement and will assist as a tensile reinforcement for the walls.

We also recommend that the entire exterior perimeter of the windows, with the precast head, jamb, and sills, be repaired. All exterior joints around the precast shall be repointed.

3. The step cracking in the interior tan tile walls and large open joints at the base of the wall and our observations, it is our opinion that the interior slab has settled in some areas. This

settlement may be the result of overloading, leaks eroding the soil below the slab, or a similar differential settlement source.

It is our opinion that when the existing rubberized tile is removed the concrete surface be reviewed, if it is in decent condition but has evidence of unevenness the slab may warrant slab jacking with an injected spray foam or similar product.

4. It is our opinion that that is a minor roof leak at the gymnasium high roof. As this roof deck is tectum it can be significantly structurally compromised when wet or when exposed to cyclic wet cycles. This area should be accessed and evaluated from above with caution and fall protection as applicable.
5. We noted a higher density of cracks and movement in the walls at the mechanical room. It appears that this area has undergone some movement. But due to the age and restricted view we were not able to determine a single source or if the movement appears active. The amount of movement we saw is minor at this time.

We recommend that the cracks be repaired with tuckpointing and the broken blocks be repaired with new blocks. The wall corner that appears to have not been bonded together; we recommend connecting these walls together with a vertical L5x5 steel angle with anchor bolts spaced 16" on center installed into both walls. This repair will also require the corner cells to be grouted solid if not

6. The rusting lintels may require removal and replacement with new hot dipped galvanized angles of equal size. This condition currently is not currently causing significant damage and making the repairs may prolong the remaining life. Replacement shall be determined based on how extensive repairs are currently being made, but at a minimum should be budgeted for the future.

#### **DISCLAIMERS:**

Please note that our review was limited to the portions of the building or structure discussed in this report and may not include other detrimental conditions that may exist. Our observations and comments are limited to the conditions noted and those that were readily visible at the time of our visit. We make no claim either stated or implied that all conditions were observed, or that a detailed analysis of the building or structure was performed. Our opinions do not represent engineering design, as we have not calculated loads or validated adequacy of any of the structural members. We make no claim that any portion of the building or structure was built to the plans or specifications provided. We have no knowledge of soil conditions at the site.

Conclusions drawn in this report are based on visual observations and on information available, known, and declared in our report on the date of our site visit and/or the time of preparation of this report. Should additional information be uncovered or made available, we retain the right to revise or supplement our report accordingly.

This report does not provide any warranty or guarantee for any portion of the property. Noted conditions may change. If observed conditions indicate that other distress to the building or structure may have occurred, we should be contacted so the condition can be evaluated.

This report is furnished as privileged and confidential to the addressee. Release to any other company, concern, or individual is solely the responsibility of the addressee.

We appreciate the opportunity to provide professional services to you. If you have any questions or need additional information or investigation into this matter, please call us at (757) 564-4434.

Sincerely,



Eric R. White, PE  
Production Manager

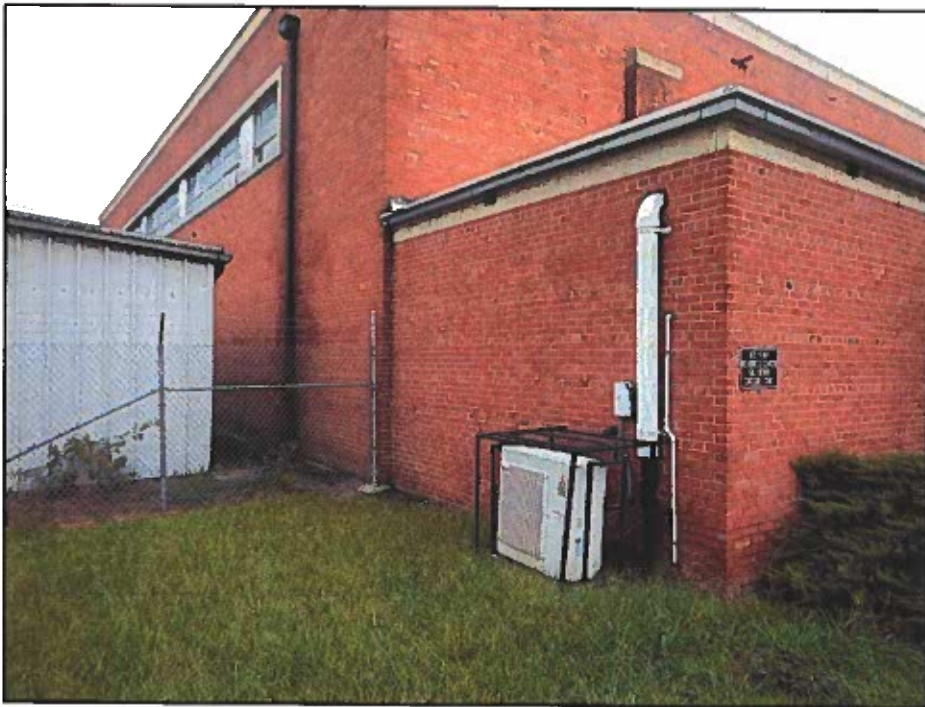


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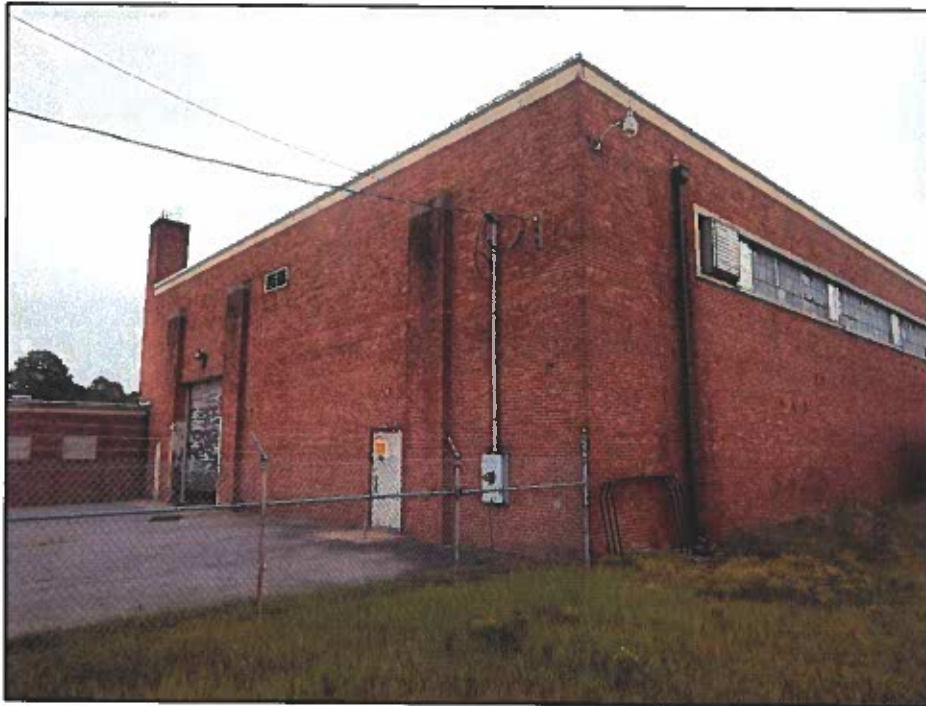
**PHOTOS:**



**Photo 1: Front view of the Armory Building**



**Photo 2: Rear View of Armory Building**

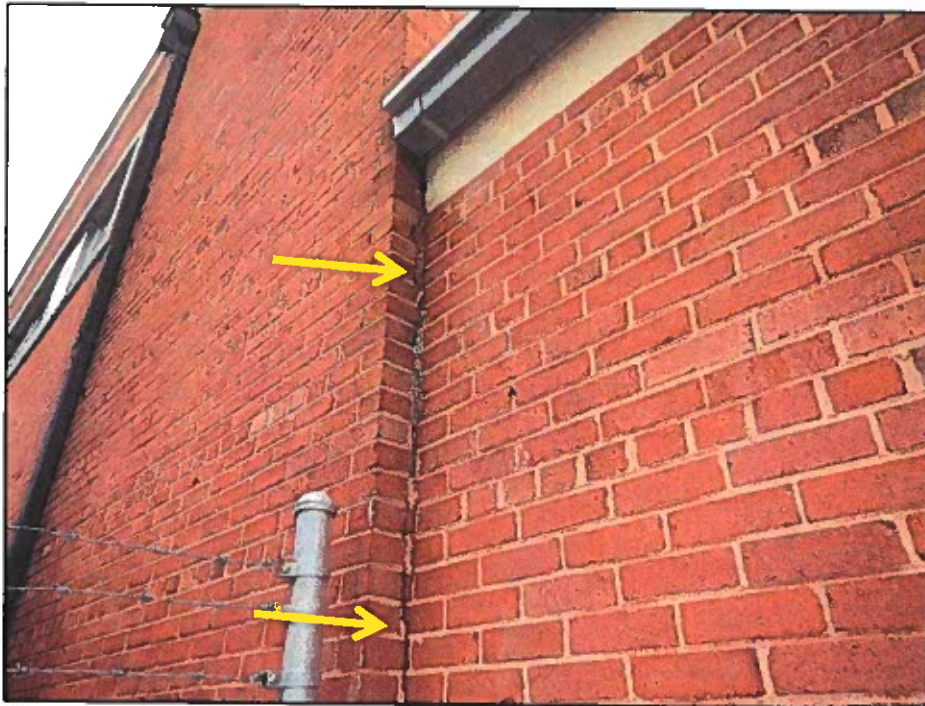


**Photo 3: Rear-Left corner of Armory Building**

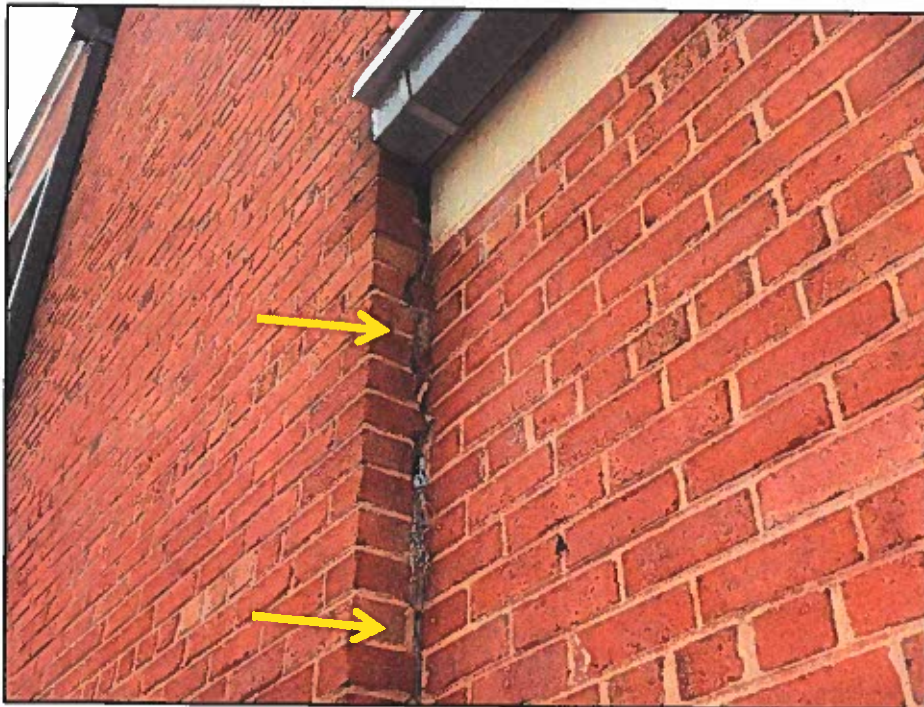


**Photo 4: General Gymnasium Space**

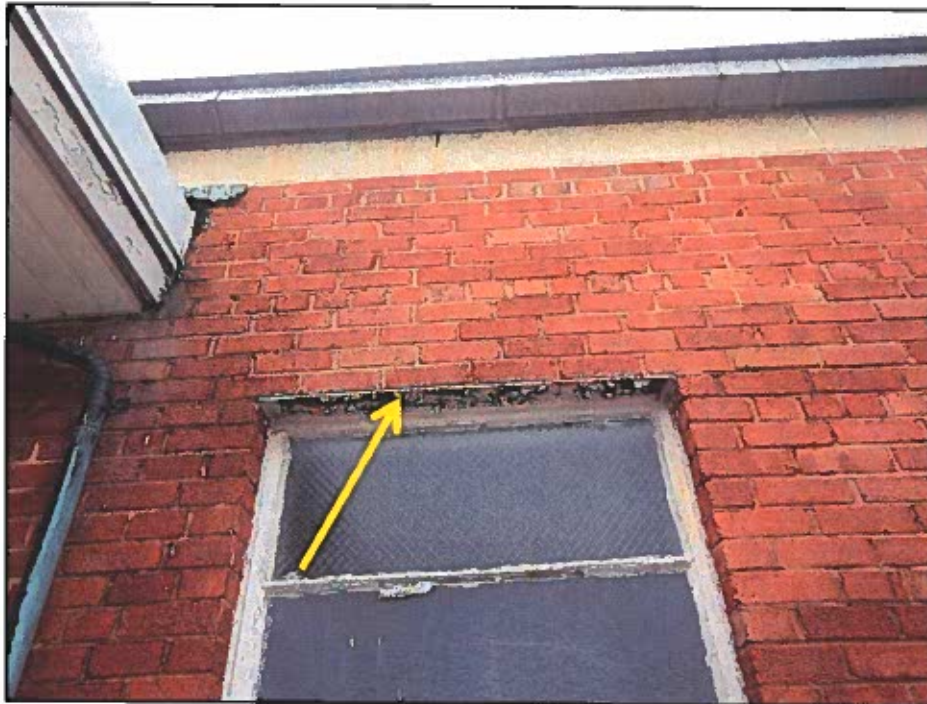




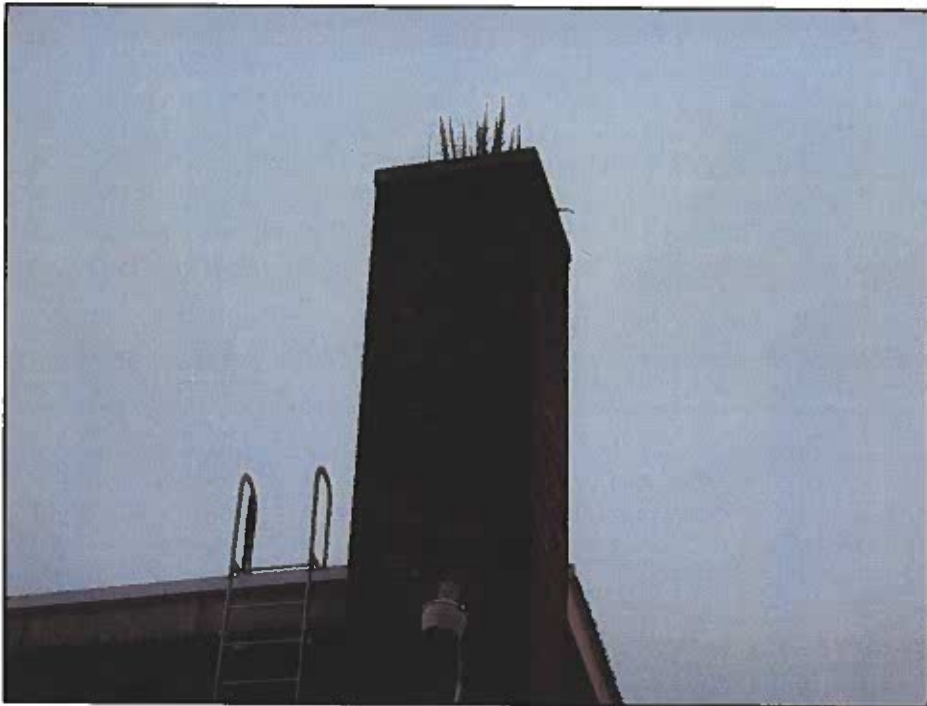
**Photo 5: Large crack at Left wall, where the lower wall frames into the taller gymnasium space wall**



**Photo 6: Large crack at Left wall, where the lower wall frames into the taller gymnasium space wall**



**Photo 7: Rusting Lintel. Common condition of most window lintels**



**Photo 8: Vegetation growing out of the chimney**





Photo 9: Exterior of the mechanical room space



Photo 10: Large cracks at the roof access wall. This wall is an interior wall to the conditioned space on the right side of the building



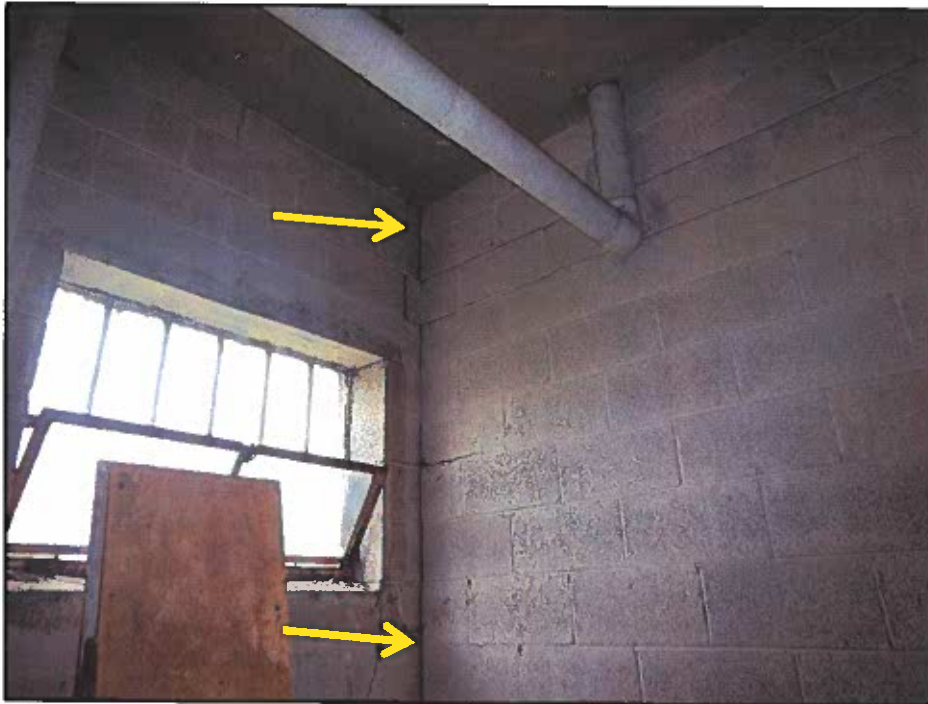


Photo 11: Vertical separation of the wall. Note that the blocks were not integral at this corner.

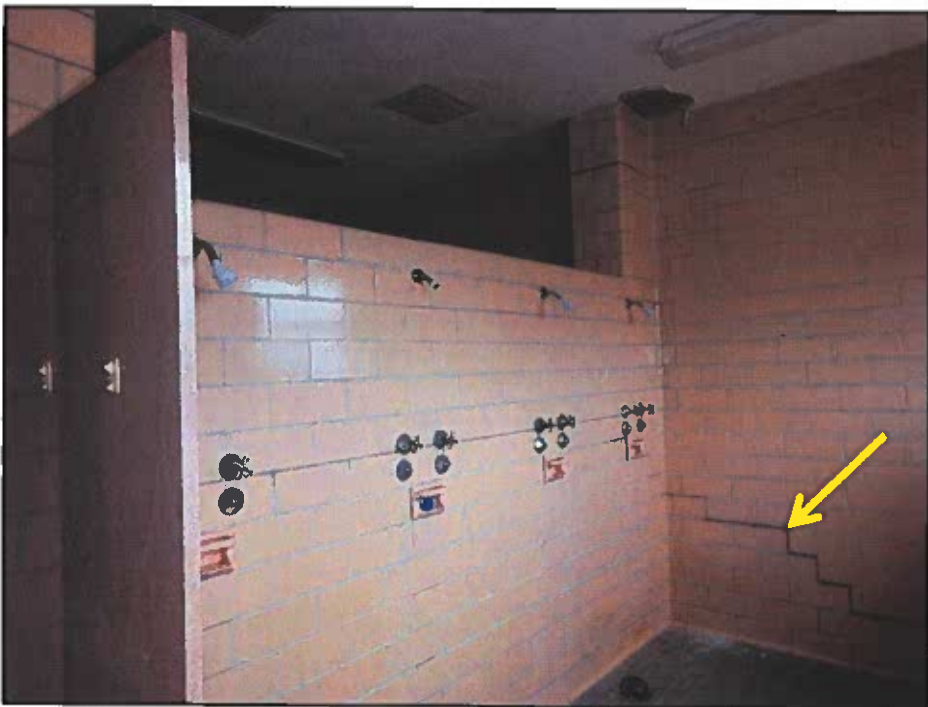
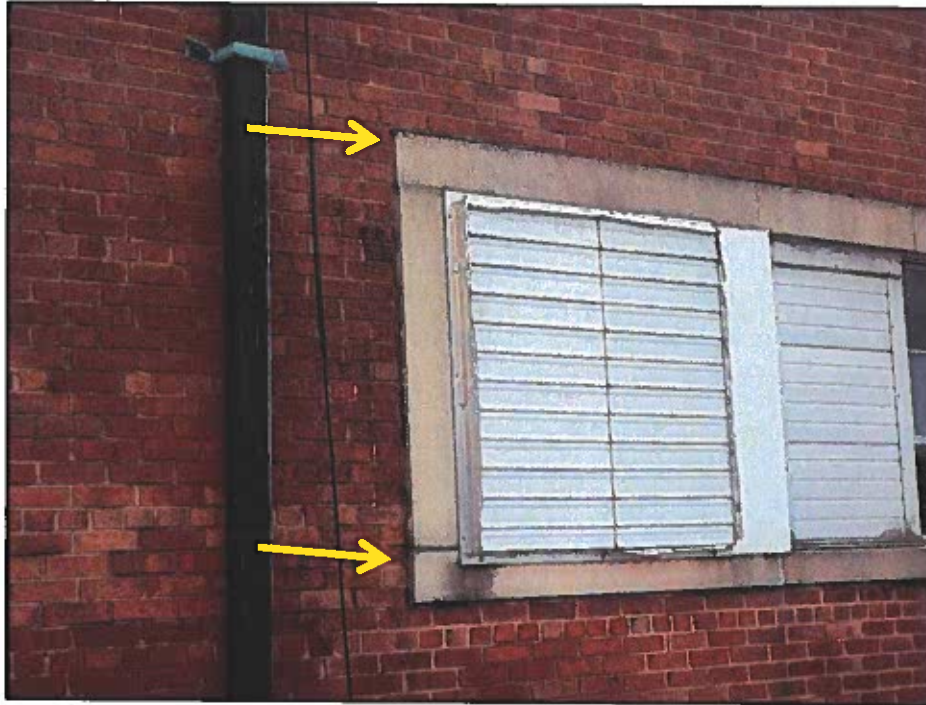
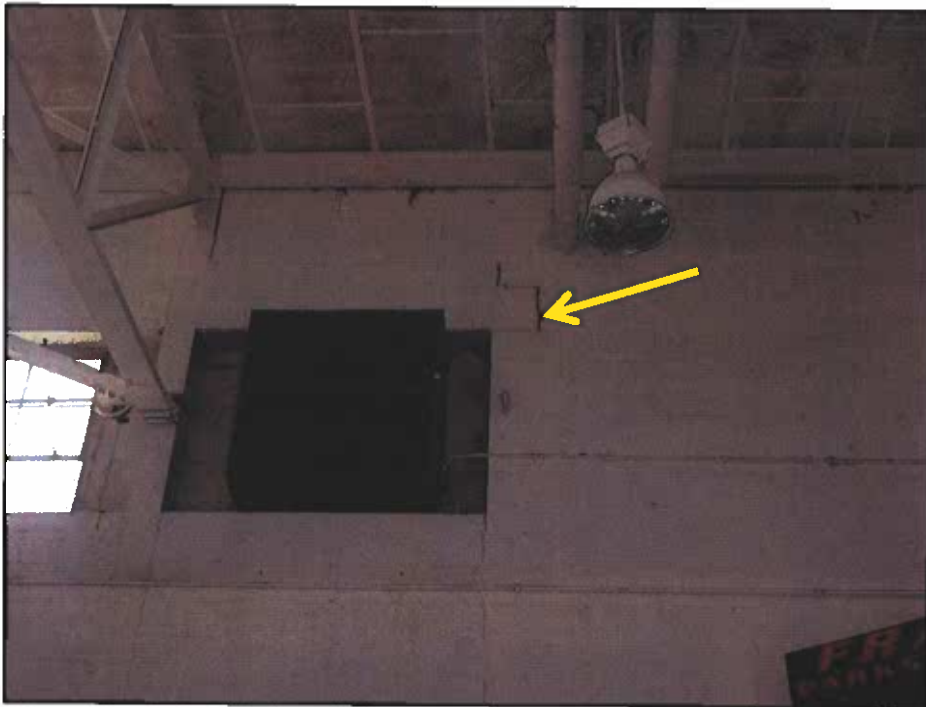


Photo 12: Step crack at the exterior wall of the showers



**Photo 13: Exterior precast has shifted inward into the space. Front Right side of gym.**



**Photo 14: The header has shifted inward nearly 3/4" and cracked. Front Right side of gym**

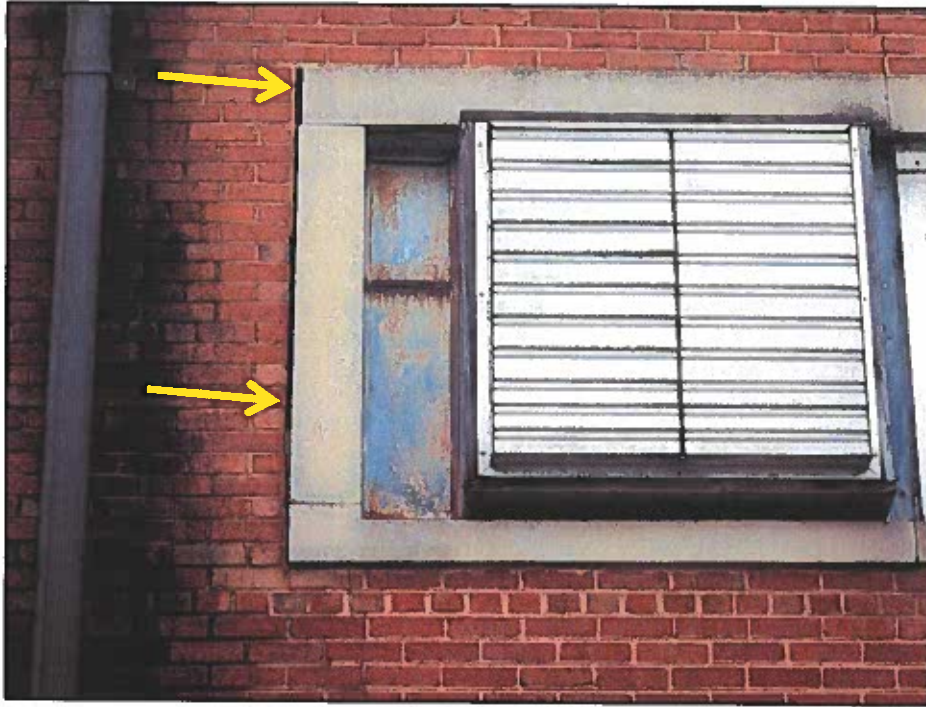


Photo 15: Open joints at the fan in the gym clerestory. Rear left side.

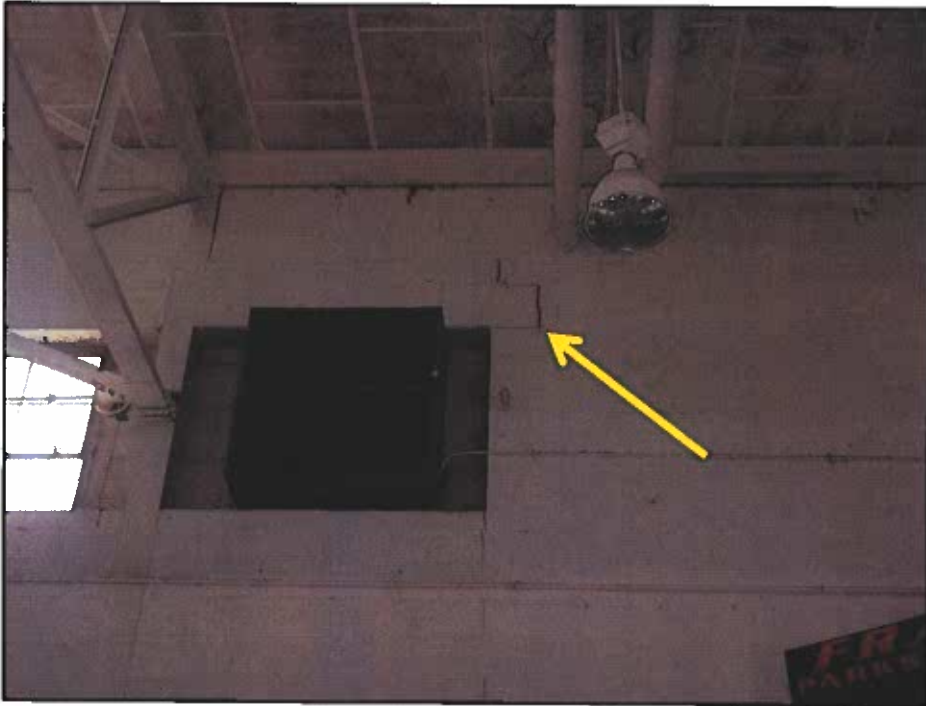


Photo 16: Reflective cracks of the noted open joints at the fan in the gym clerestory. Rear left side.



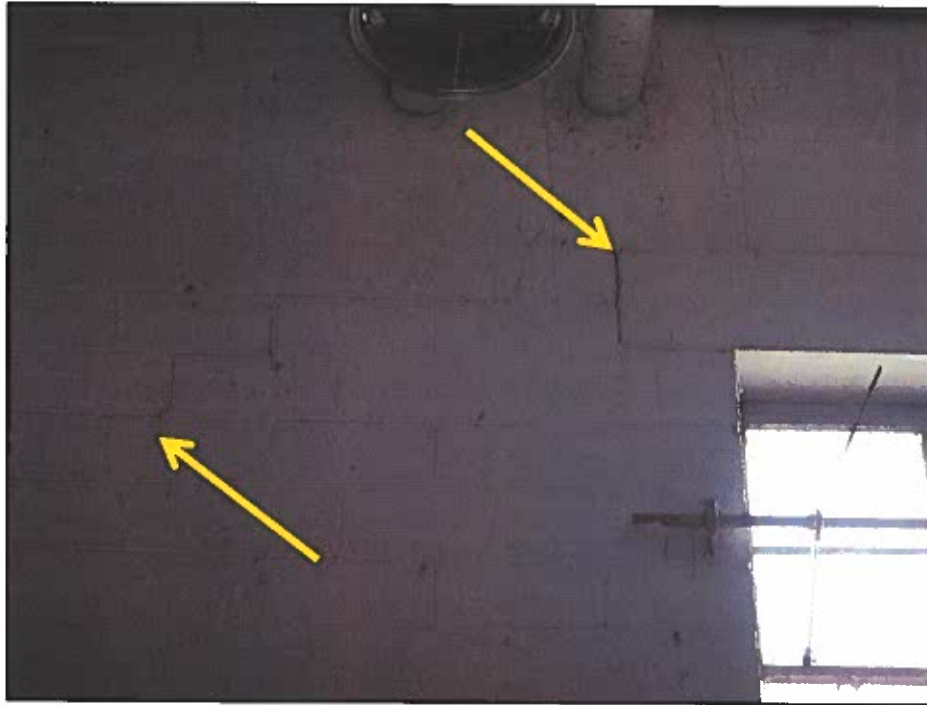


Photo 17: Cracks in the gym walls near the clerestory. Front left side

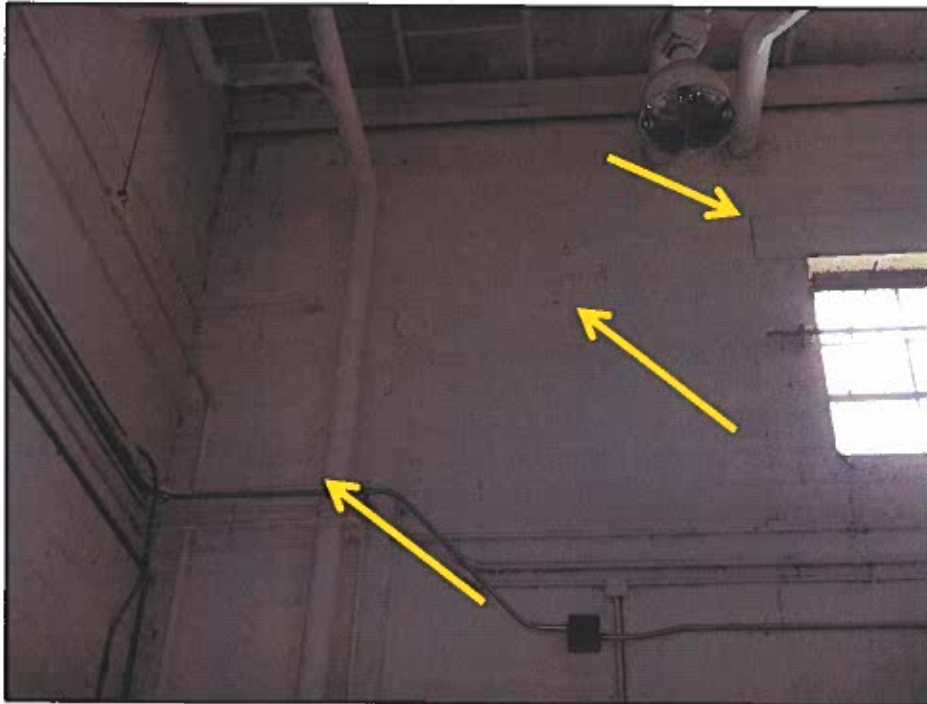


Photo 18: Cracks in the gym walls near the clerestory. Front left side



**Photo 19: Open Joint in wall tile finish at rear of Gym space**



**Photo 20: Open Joint in wall tile finish at rear of Gym space**



Photo 21: Cracks in the wall tile



Photo 22: CMU Cracks at rear

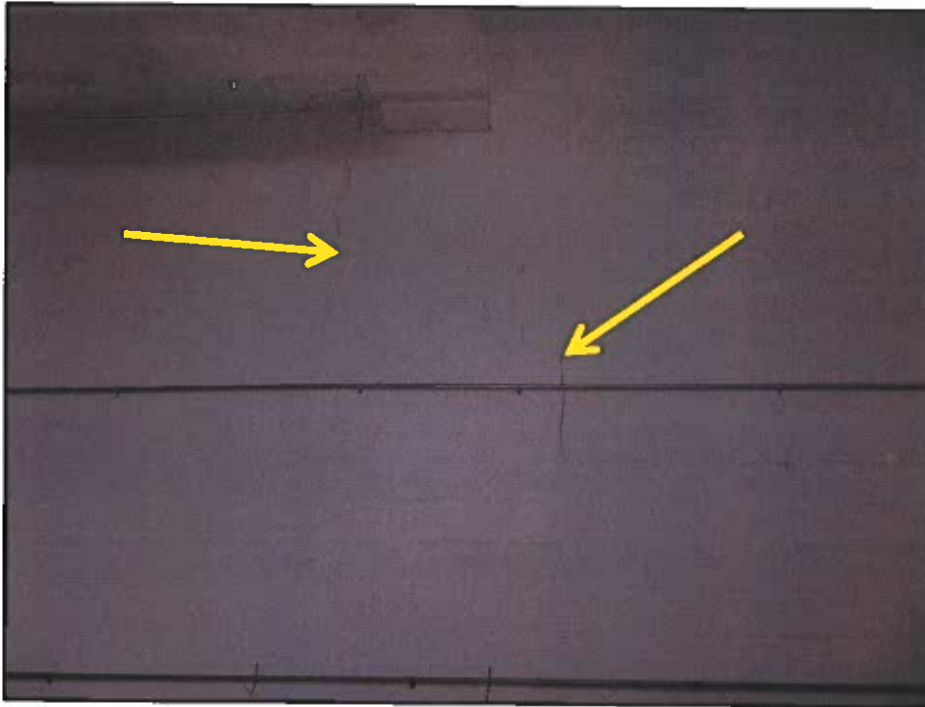


Photo 23: CMU Cracks on rear front wall

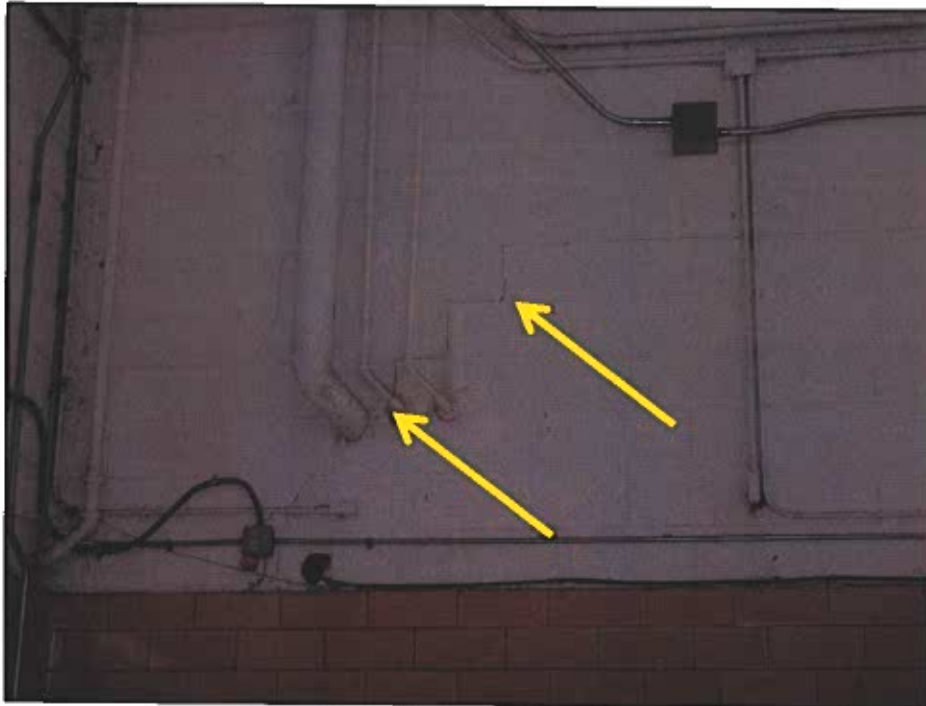


Photo 24: Diagonal Step Cracks in the CMU walls





**Photo 25: Ponding water on the lower roof, right side of the building.**



**Photo 26: Ponding water on the lower roof, right side of the building.**





**Photo 27: Upper Roof**



**Photo 28: Upper Roof**

## ELECTRICAL

The existing armory and gymnasium building can be divided into sections: High Bay multipurpose area, one-story offices, storage rooms, locker rooms, and a mechanical room.

### **Part 1. DESCRIPTION OF BUILDING SYSTEMS**

#### **Electrical Service and Distribution**

The building's electrical system has been modified to accommodate the changes to the building's electrical service entrance. It was observed the building is being served by single phase, 120/240V power from a pole mounted single phase transformer which also serves the accompanying garage building on the property. An original construction 100A panelboard was found near the building main entrance. Severed conductors on the building exterior indicate the was once served by 208Y/120V, three phase power. Three phase power is still available at the service pole located outside the building. (See Pictures 1, 2, and 3)

The updated electrical service entrance includes two panelboards with 200A main breakers. One serves primarily lighting and receptacles loads while the other provides power to mechanical loads. Despite being more recent, both panelboards had visible signs of wear and corrosion to the housing and breakers within them. Both panelboards we also missing cover for empty breaker spaces. (See Pictures 4, 5, and 6)

Lighting within the building varied by space. In the basketball court area, lighting consisted of what appeared to be high bay, high intensity discharge (HID) lighting. At least three emergency bug-eye styled lights were observed over outside exit doors. The office spaces had lay-in 2x4 fixtures in a drop ceiling or surface mounted wrap arounds with fluorescent lamping. Lighting in the showers consisted of gasketed washdown strips with fluorescent lamps. Several unsuccessful attempts were made to turn on all of the high bay lighting. (See Pictures 7, 8, and 9)

There were no smoke detectors, exit pull stations, visual strobes, or audible warning alarms were observed in the basketball court area. A battery powered, single station alarm was in the office space, mounted on the wall below the drop ceiling. (See Pictures 10)

The office space contains an exposed telephone and network backboard. A single installed receptacle is mounted on the backboard with a power strip supply power to plug in devices mounted to the backboard. (See picture 11)

### **Part 2. RECOMMENDATIONS**

The entire electrical service entrance to the building requires maintenance. Ideally, the panelboards would be replaced. Leaving the building unconditioned during the period of vacancy has left visible corrosion, dust, and other debris inside the panelboards and on the breakers. At minimum, open breaker spaces within panelboards should covered so tools and fingers cannot reach the electrified busses on the interior of the panelboards. An electrician should pull the covers and verify the

panelboards are set up to be “service entrance” rated and verify proper installation of a grounding electrode outside the building. Conduit routed throughout the building appear to be undamaged and in good condition.

Much of the newly recommended mechanical HVAC equipment is rated for 480V, 3 phase power. It is possible there are 208V, 3 phase equivalents, but retrofitting the existing electrical system to be rated at 480V allows flexibility in unit selection. Modern lighting also frequently runs on 277V (a type of power provided by a 480V, 3 phase system). However, in order to provide power for 120V loads (such as convenience receptacles), a small transformer will be required to step down 480V to 208V.

Though the existing electrical equipment is currently mounted in the basketball court area, it is recommended to move the new electrical equipment to an enclosed dedicated closet if a transformer is required. This will prevent possible damage to the equipment or injury to a player from a sporting event. The equipment may cohabitate with the communications equipment in the large conference room. An electrical closet could be created by adding a wall and door to enclose both the existing telephone backboard and new electrical equipment.

The basketball court has emergency exit lighting, but those battery powered bug eyed units should be tested for proper function and a lighting calculation performed to determine adequate emergency lighting along egress paths. Egress emergency lighting should be provided in the office spaces either with additional bug eye emergency lighting or battery packs for some of the drop ceiling luminaires.

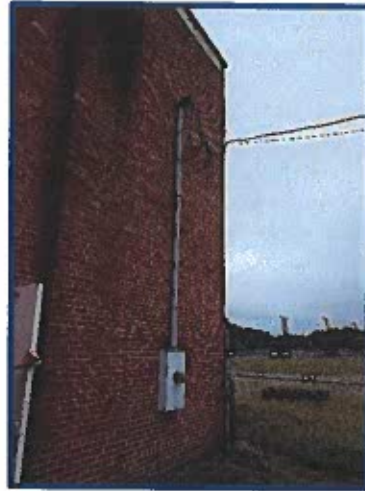
General lighting in office spaces and the bathrooms appear to be in generally good condition. The lights should be tested for replacement lamping, cleaned where needed, and have loose covers re-affixed. More energy efficient LED lamping is an option for these lights, but not required.

Basketball court lighting did not appear to function correctly. High bay HID lamps varied in brightness or did not come on. The high bay lighting fixtures themselves, as observed from ground level, did not appear damaged. High bay lighting may require replacement lamping. Again, more efficient LED replacement fixtures are an option and may provide better performance, but are not required. Below is pictured a high efficiency, LED based, high bay gymnasium light. (See Picture 12).

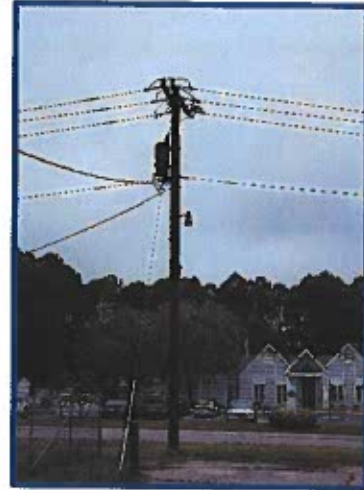
Fire alarm and occupant notification systems are insufficient to meet current code. Likely, simple system-based fire alarm design is required with a central panel in the entryway, strobe and horn occupant notification, smoke detectors throughout the building, and pull stations at exit doors. A full design is required to determine what upgrades to the system are necessary.



Picture 1



Picture 2



Picture 3



Picture 4



Picture 5



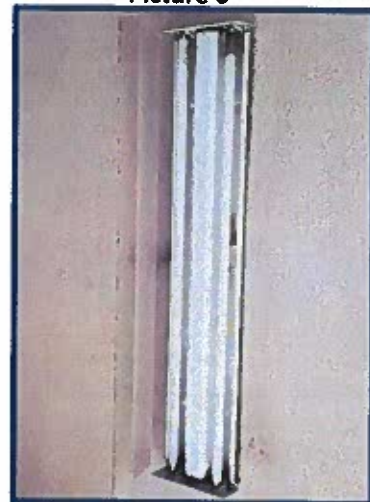
Picture 6



Picture 7



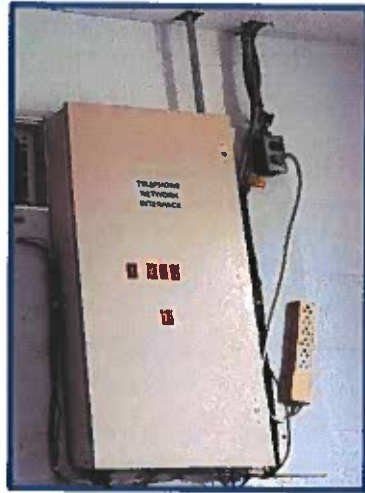
Picture 8



Picture 9



Picture 10



Picture 11



Picture 12

## **HVAC**

### **Part 1. DESCRIPTION OF BUILDING SYSTEMS**

The Franklin Armory HVAC system was surveyed on August 7, 2020, for the purpose of observing the heating ventilating and air conditioning equipment conditions in connection with plans for renovating the facilities. The existing heating equipment consists of an oil-fired steam boiler (see Picture 1), steam to hot water convertor(see Picture 2), hot water distribution pump (see Picture 3), piping, finned tube radiation units (see Picture 4), and wall mounted electric heaters (see Picture 5) for building perimeter heat; and multiple ductless split system heat pumps (see Picture 6) for the rest of the building. Two (2) steam heating and ventilating units (see Picture 7) and multiple wall mounted steam finned tube heating units serve the high bay multipurpose area (see Picture 8). And two large wall mounted exhaust fans (see Picture 9) provide comfort ventilation. The cooling equipment for the rest of the building consists of multiple ductless split system heat pumps and window units (see Picture 10).

The boiler, steam to hot water convertor, domestic hot water storage tank, and condensate return pump are located in the mechanical room. The boiler appears inoperable. According to the American Society of Heating Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook 2015, the service life of a typical hot water boiler is 24 years. The split system heat pumps serving the office areas are approximately 7 years old, and the window units appear to be inoperable. According to ASHRAE Handbook 2015, the service life of split system heat pumps units is 15 years.

The kitchen hood appears to be in good working condition, free from built up grease from cooking.

Although a complete survey and test was not performed throughout the building, asbestos containing materials (ACM) may be present, based on observations of the pipe insulation on existing hot water heating piping (see Picture 11) in the mechanical room. Also, at the time of the site visit, the building was not occupied, and no HVAC systems were running.

### **ANALYSIS**

Although a test was not performed, the existing ductless split system heat pumps appeared, generally, operational. But the window units were not. The high bay multipurpose area does not have cooling or dehumidification. Ventilation air for the building comes through operable windows, leading to periods when humidity in the spaces cannot be controlled to acceptable standards. All systems are thermostatically controlled, but the control system could not be evaluated.

### **Part 2. RECOMMENDATIONS**

If the Franklin Armory is going to be renovated, the entire HVAC system should be demolished, and a new HVAC system should be provided. The ductless split system heat pumps that condition the office areas could be salvaged and reused, but a dedicated outside air system (DOAS) should be provided, sized to meet the minimum code required ventilation.

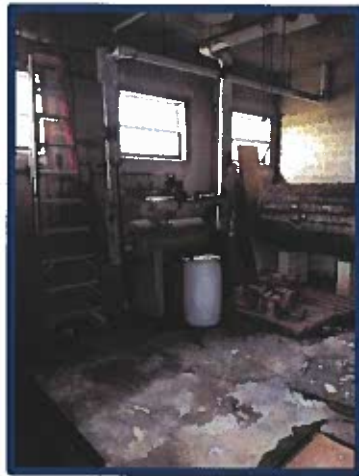
The proposed HVAC system should meet the Commonwealth of Virginia Uniform Statewide Building Code including ASHRAE Standard 90.1, "Energy Standard for Buildings Except Low Rise Residential Buildings," and ASHRAE Standard 62.1, "Ventilation for Acceptable Indoor Air Quality," and have the



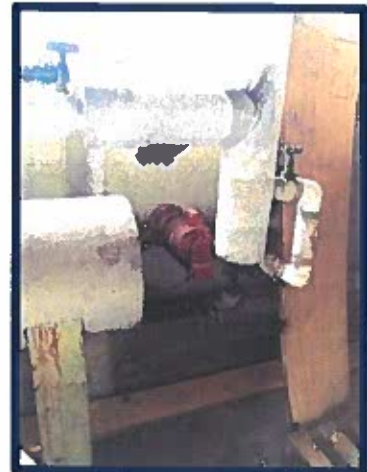
capability of individual room temperature control. Two 15-ton split system heat pumps should be provided for the high bay multipurpose area and an 11-ton variable refrigerant flow (VRF) system with ceiling cassette units, a dedicated outdoor air unit, and outdoor condensing units would meet the standards. The VRF system would consist of multiple small ceiling mounted cassettes or ductless units with individual thermostats, refrigerant piping and an outdoor air cooled condensing unit. A DDC building automation system (BAS) should be provided, control the space temperature and monitor energy consumption.



Picture 1



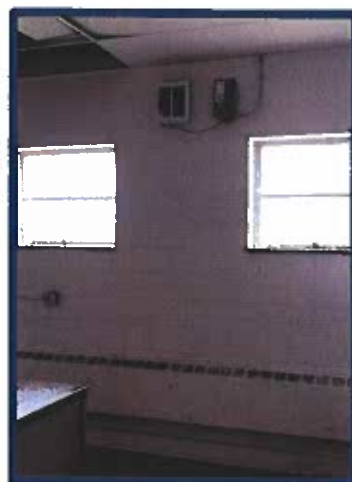
Picture 2



Picture 3



Picture 4



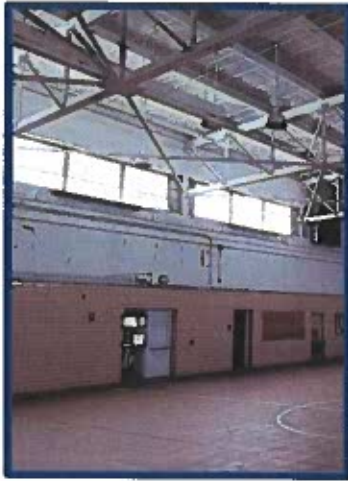
Picture 5



Picture 6



Picture 7



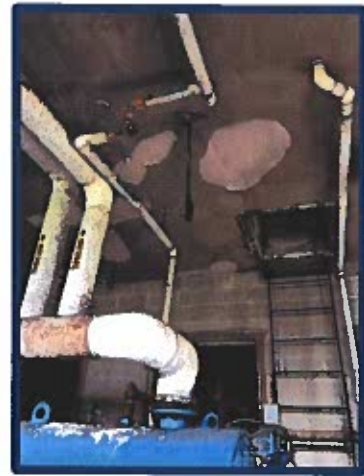
Picture 8



Picture 9



Picture 10



Picture 11



## **PLUMBING**

### **Part 1. DESCRIPTION OF BUILDING SYSTEMS**

The Franklin Armory plumbing system was surveyed on August 7, 2020, for the purpose of observing the domestic hot water heating equipment, plumbing fixtures, building domestic water service and sanitary sewer drain system conditions in connection with plans for renovating the facilities. The existing domestic hot water is generated by a tank type electric water heater (see Picture 1) located in the mechanical room. According to GIS data a 3-inch domestic water line serves the building and enters at the north east face. A backflow preventer on the incoming water line could not be confirmed.

However, backflow preventers were observed on the water service pipe to the boiler. Three (3) wall mounted exterior hose bibbs were observed on the building. According to GIS data a 6-inch sewer drain pipe exits the building at the north east side of the building. One (1) electric water cooler (see Picture 2) is wall mounted in the High Bay Multipurpose area.

The existing fixtures consist of flush valve water closets and urinals and wall hung and counter mounted lavatories (see Picture 3). ADA accessible bathrooms do not exist. The bathrooms are configured as integral with locker rooms and showers, consisting of one large Men's locker room and one small Women's locker room. One Janitors closet with a wall mounted service sink (see Picture 4) exists that serves the entire building.

A two-compartment scullery sink was observed in the kitchen (see Picture 5). However, there was no hand sink in the kitchen.

The flat roofs are served with interior roof drains and secondary overflow drains (see Picture 6).

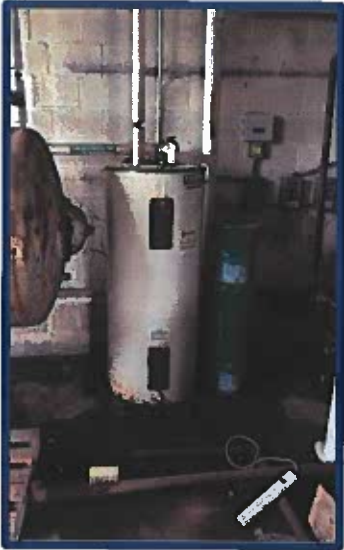
### **ANALYSIS**

The plumbing fixtures are old, some are missing, likely as a result of extensive wear and tear, and do not meet energy and water consumption requirements of today's standards. The quantity of standard and ADA accessible plumbing fixtures should be evaluated in connection with any proposed renovation work. According to the International Plumbing Code, Chapter 4, "Fixtures, Faucets and Fixture Fittings," separate men's and women's restrooms are required. As a result, it is recommended that the restrooms be completely reconfigured and provided with new, energy efficient, fixtures. And, if the kitchen is to remain, a hand sink will be required along with a grease interceptor, to meet health department guidelines.

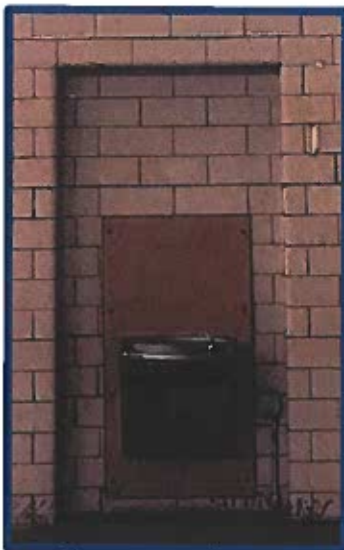
Steve Watson, Franklin Public Works Department, provided some historical data for the incoming domestic water and sewer services. He pointed out that the water line needs to be replaced due to age and pipe leaks, and the sewer line is old and is constructed with clay pipe and it needs to be replaced when the building gets renovated.

## **Part 2. RECOMMENDATIONS**

If the Franklin Armory is going to be renovated, the plumbing fixtures, including the domestic hot water heater, should be demolished, and new plumbing fixtures should be provided throughout. The quantity of standard and ADA accessible plumbing fixtures should be evaluated in connection with any proposed renovation work. New copper domestic hot and cold water piping should be provided to the renovated restrooms. The entire sanitary drain system should be removed including saw cutting the floor slab and be replaced with new underground PVC sanitary waste pipe. Refer to the civil sitework report for the extent of exterior water and sewer replacement.



Picture 1



Picture 2



Picture 3



Picture 4



Picture 5



Picture 6

# P M A

## ARCHITECTURE

### Renovation of Franklin Armory

10/29/20 - Prepared by PMA Architecture

*Preliminary Opinion of Probable Construction Cost and Project Budget Components*

Project Components	COST RANGE	
	Low	High
<b>Architect and Engineering Fees</b>	<b>\$472,073</b>	<b>\$569,991</b>
Design Cost Estimate	\$472,073	\$569,991
<b>Construction and Inspections</b>	<b>\$4,043,940</b>	<b>\$5,849,913</b>
Hazardous Materials Allowance	\$50,000	\$100,000
Building Construction	\$2,355,600	\$3,347,750
Site Costs	\$1,000,000	\$1,500,000
GC O&P	\$503,340	\$727,163
Electrical Service	\$75,000	\$125,000
Special Inspections (structural engineer)	\$10,000	\$15,000
Commissioning	\$30,000	\$20,000
Quality assurance testing	\$20,000	\$15,000
<b>Other</b>	<b>\$162,000</b>	<b>\$212,000</b>
Furniture	\$50,000	\$100,000
Security System	\$25,000	\$25,000
Wiring costs (telephone & computer)	\$40,000	\$40,000
Telephone system	\$35,000	\$35,000
Bidding costs	\$12,000	\$12,000
<b>Total Project Budget</b>	<b>\$4,678,013</b>	<b>\$6,631,904</b>



*Office of the City Manager  
Amanda C. Jarratt*

July 6, 2022

To: Franklin City Council

From: Amanda C. Jarratt, City Manager

Reference: Southampton County Courthouse Update

**Background Information**

The following is the latest information shared with the Southampton County Board of Supervisors regarding the status of the Southampton County Courthouse renovation:

- Preparatory work for the Dominion Energy transformer relocation is now complete and their construction crew is expected to be onsite to relocate the transformers and primary cable in the next couple of weeks.
- Interior framing is nearing completion in the 1960's building along with the electrical and plumbing rough in work.
- The estimated completion date is now July of 2023.
- Change Order Number 4 was authorized this month in the total amount of \$111,855.10 which will be covered by the project contingency. The majority of the cost is associated with a recommendation from the structural engineer to address unforeseen irregularities in the masonry façade of the 1960's building which were not visible to anyone until the precast stone panels were removed from the building exterior. The engineer's recommendation was to completion remove the irregular masonry and replace it with a 14 gauge cold form steel framing.
- The total construction contract, including change orders 1-4 now stands at \$21,763,713.21.

**Needed Action**

None at this time.



## Site Visit - Other

PROJECT: Southampton Courthouse Renovation 19081      DATE: 6/15/2022

VISIT NAME: OAC #11      REPORT NO: 011

AUTHOR: Katherine Hershey      STATUS: Final

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### VISIT DETAILS

WEATHER: Low 90s, rain off and on      START TIME: 8:00 AM  
END TIME: 5:00 PM

GENERAL COMMENTS: Preparatory work for Dominion transformer relocation is complete. Next steps require Dominion approval of constructed conditions.

Interior framing is nearing completion in the 1960s building. Refer to enclosed comments. Electrical and plumbing work is underway at same location.

Upcoming work includes foundation work at one-story addition in area C and at Stair E.

New construction schedule was received at OAC meeting and will be formally issued following review by contractor's team. Schedule generally shows C-A-B-D work sequence.


PARTICIPANT NAME	COMPANY	TITLE	EMAIL
Todd Burdge	Lynch Mykins Structural Engineers, P.C.		tburdge@lynchmykins.com
Michael Johnson	Southampton County	County Administrator	mjohnson@southamptoncounty.org
Rick Francis			rfrancis@vacourts.gov
Craig Larson			clarson@hciva-gc.com
Brian Thrower	Southampton County		bthrower@southamptoncounty.org

### OBSERVATIONS



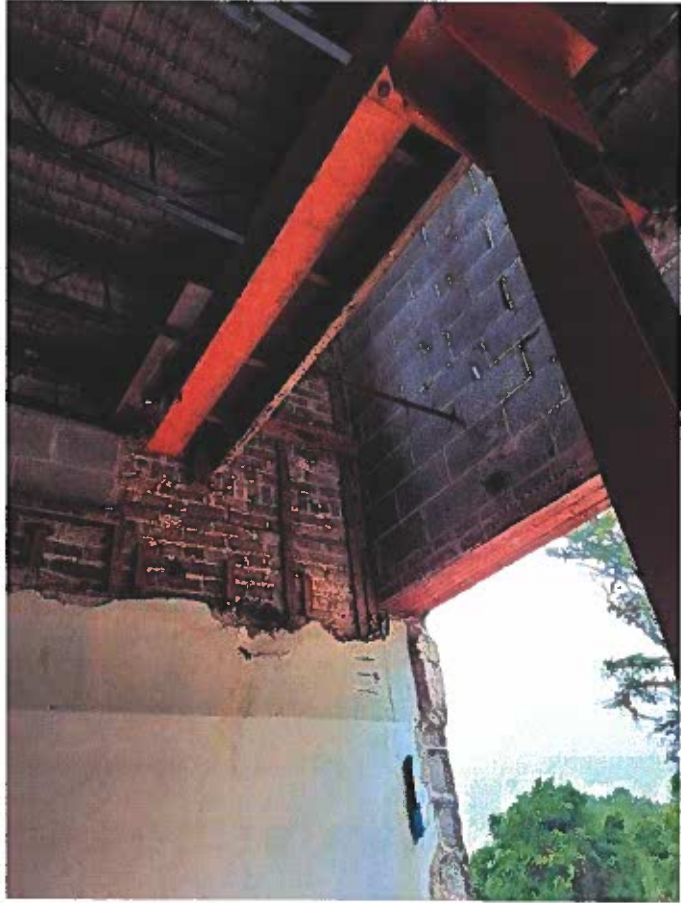
# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-001	SUBJECT:	Overall Building View	SPACE:	X-E - EXTERIOR - EAST
REMARKS			PHOTO		
Overall building view from SE corner of site					

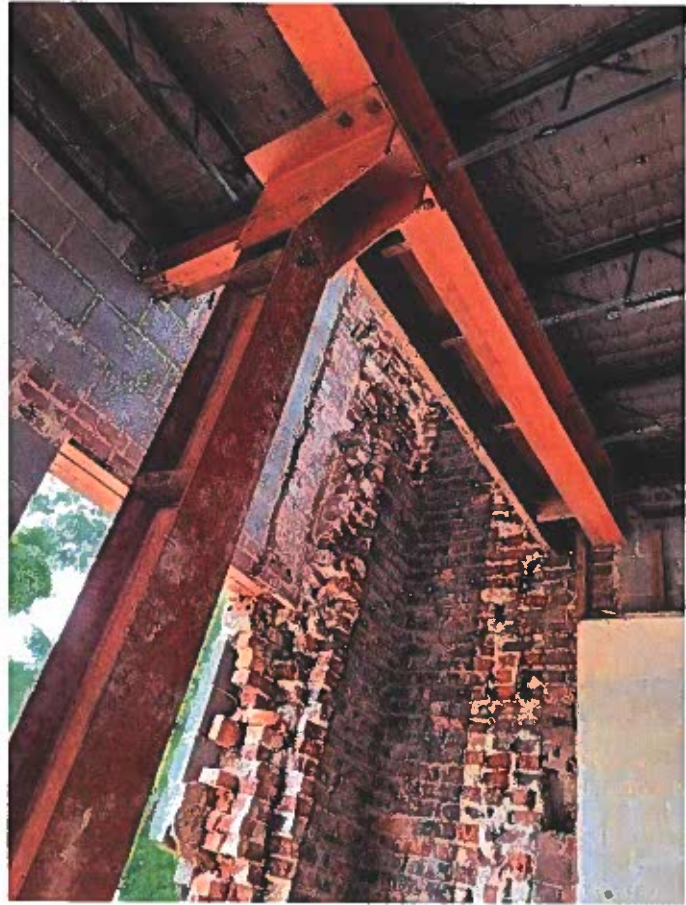
# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-002	SUBJECT:	Existing Wood Floor Beam	SPACE:	101.2 - GENERAL DISTRICT COURTROOM
REMARKS			PHOTO		
Existing timber beams at NW and SW corners of ground-floor courtrooms have been exposed. Contractor to prepare RFI.					

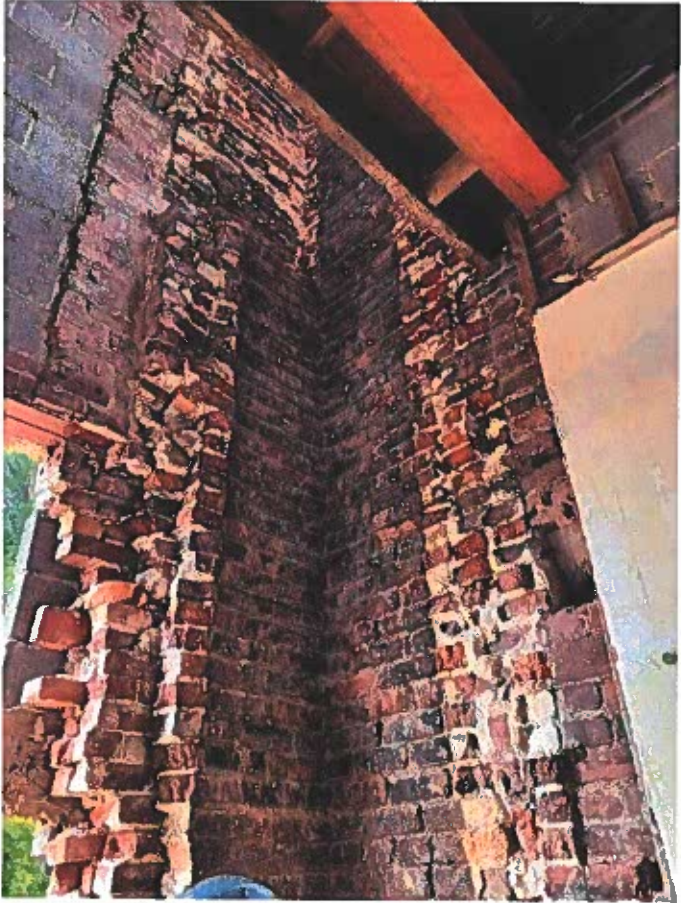
## Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011



# Site Visit - Other

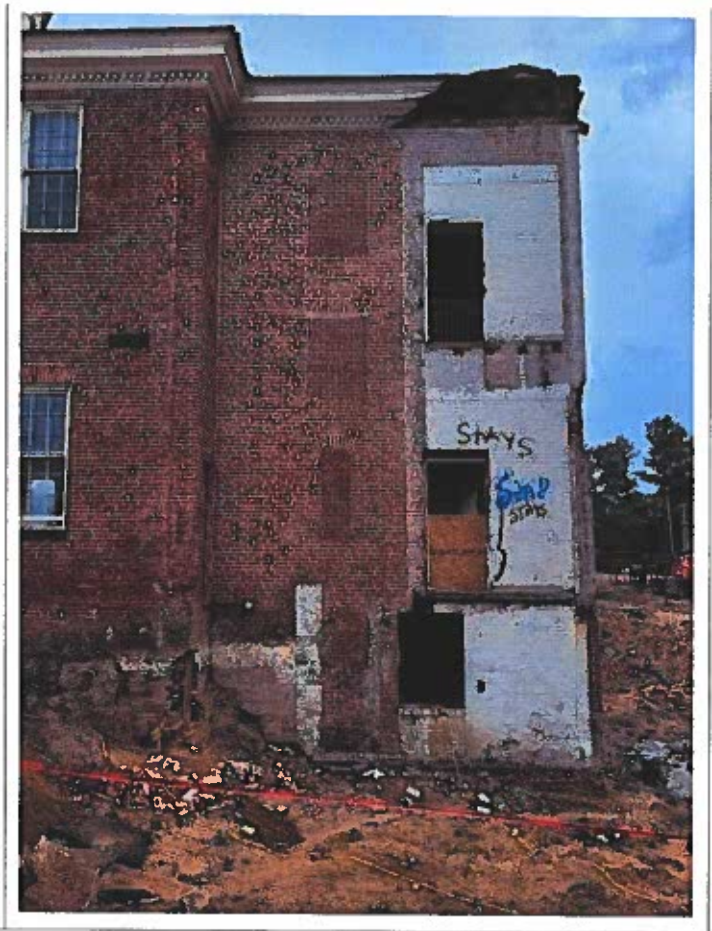
DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-003	SUBJECT:	Corner Cracking (RFI 045)	SPACE:	101.2 - GENERAL DISTRICT COURTROOM
REMARKS			PHOTO		
<p>Contractor has been notified via response to RFI 045 to stabilize NW corner of courthouse building. The group observed the conditions of the interior and exterior of the corner and discussed options for long-term correction. Contractor to stabilize the corner, monitor changes in the crack, continually pump water away from the building at the west elevation, and prepare RFI for corner remedy.</p>					



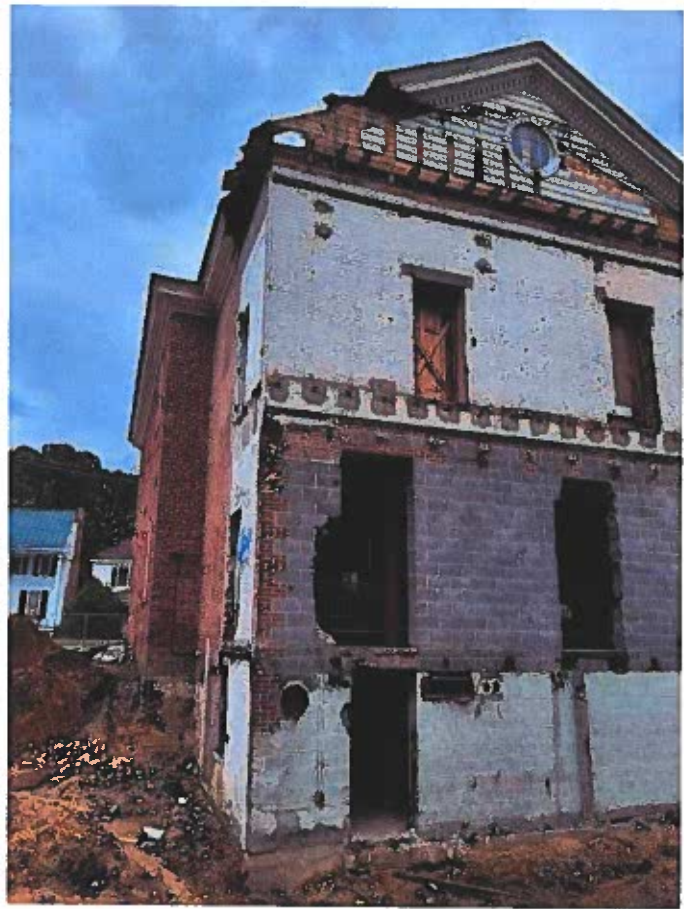
# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011



# Site Visit - Other


DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011






# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-004	SUBJECT:	1960s Brick Crack	SPACE:	X-E - EXTERIOR - EAST
REMARKS			PHOTO		
<p>Contractor indicated loose brick has been removed from NE corner of 1960s building where demolition previously resulted in cracking at upper wall corner. Contractor to monitor corner for further deterioration and prepare RFI for repair of condition.</p>					

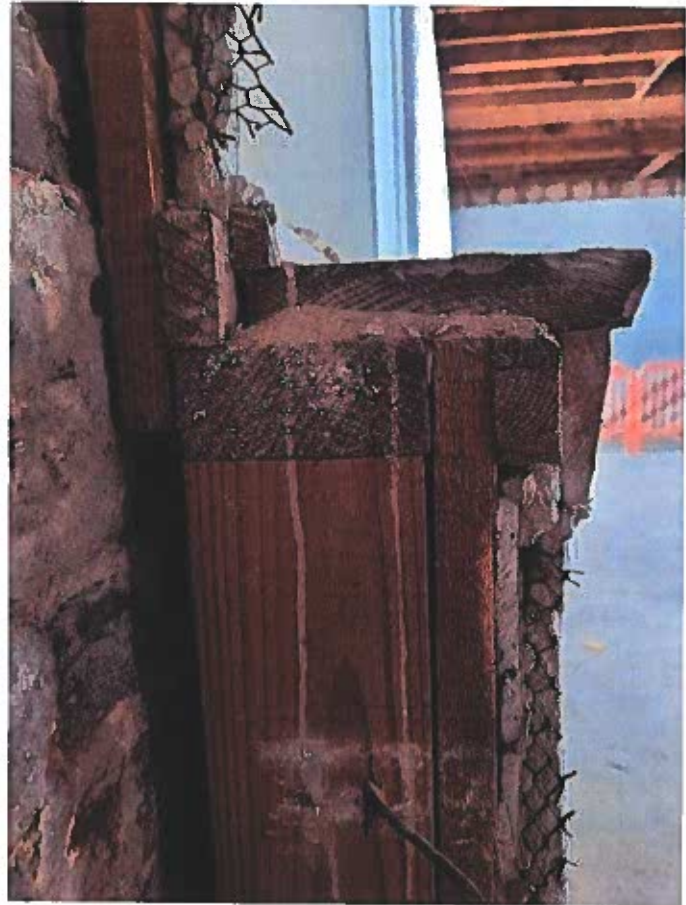
# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-005	SUBJECT:	Courthouse Plaster Demolition	SPACE:	203.2 - CIRCUIT COURTROOM
REMARKS			PHOTO		
<p>Plaster and framing at (2) corners of second-floor courtroom have been demo'd, revealing condition beneath. Stepped plaster is supported on wood framing and metal lath. Wood nailers are embedded in masonry. Cracking of masonry observed at both corners. Monitor cracking for changes.</p>					

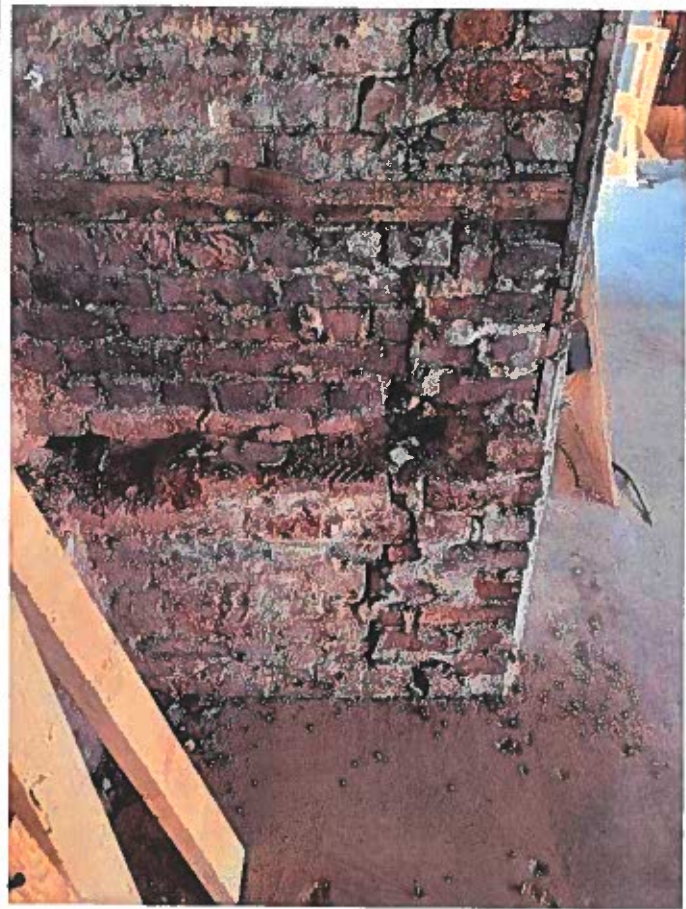
## Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011



## Site Visit - Other

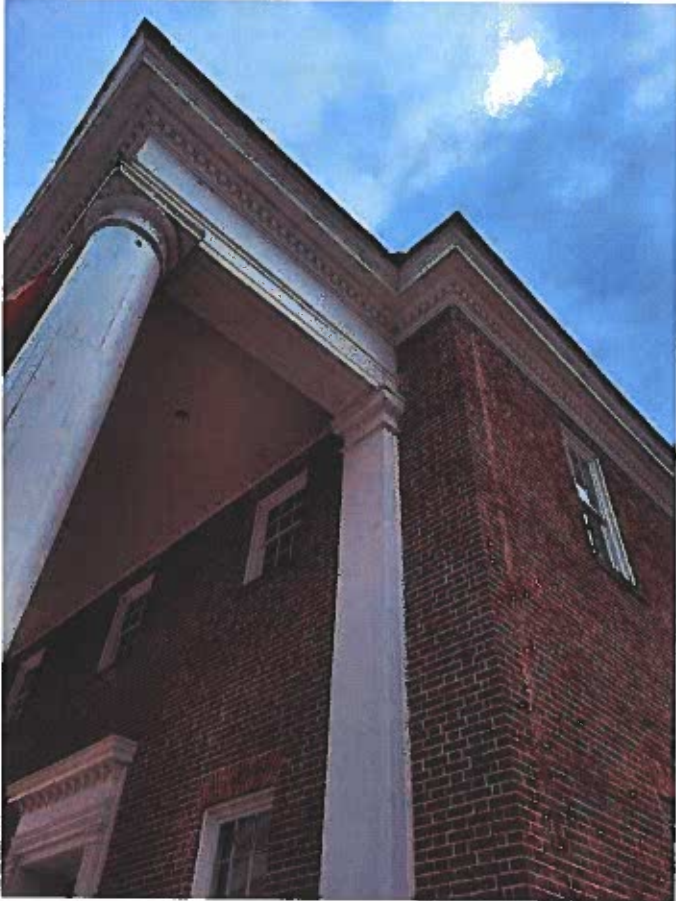
DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011





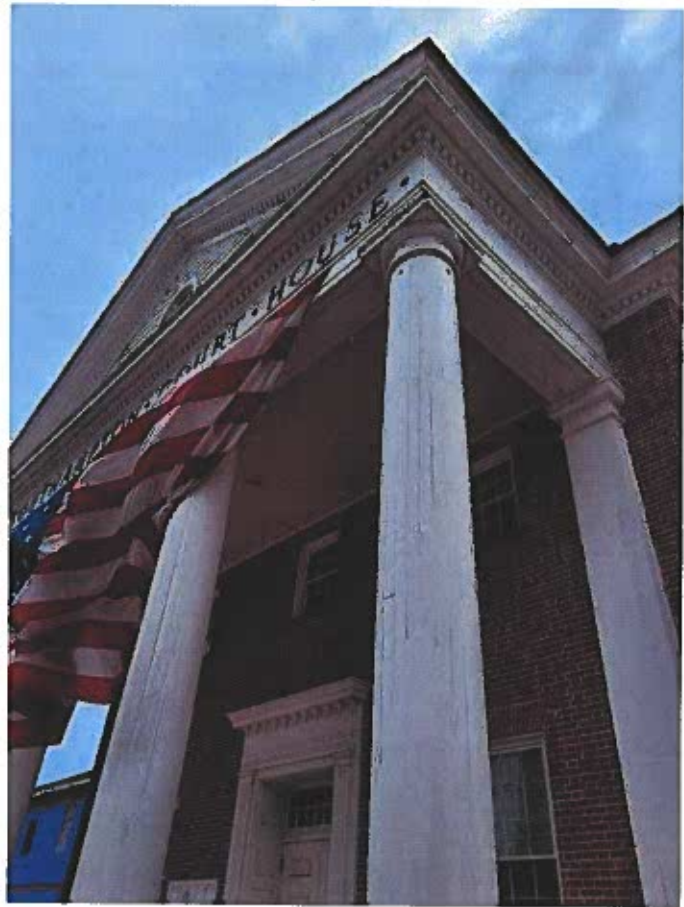
# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-006	SUBJECT:	Portico Column Deterioration / North Wall Gutters	SPACE:	X-N - EXTERIOR - NORTH
REMARKS			PHOTO		
<p>Temporary gutters have not been installed at north wall of historic courthouse. Portico columns continue to deteriorate, and deterioration appears to be most significant at corner where gutter has not been provided.</p>					

**Site Visit - Other**


DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011





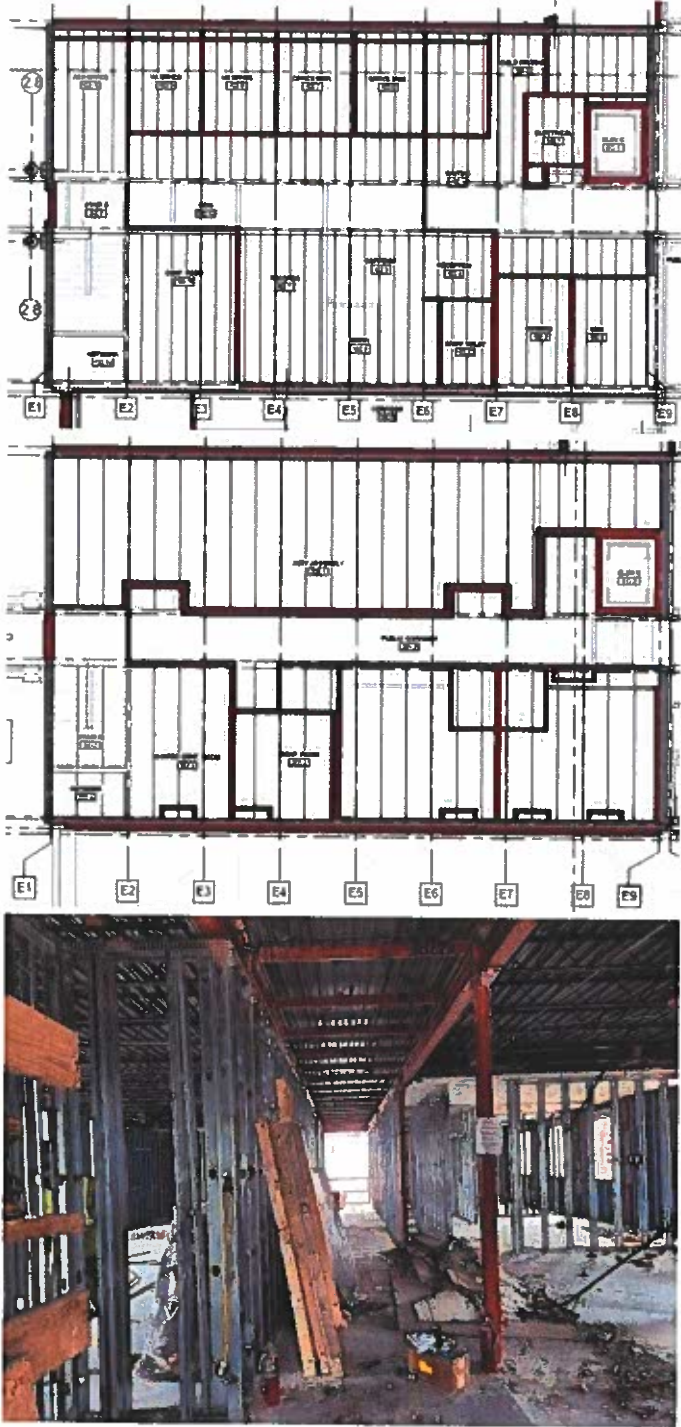
# Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011

ITEM:	011-007	SUBJECT:	1960s Plaster Ceiling Demolition	SPACE:	
REMARKS			PHOTO		
<p>Plaster ceilings were almost completely demolished at the time of the site walk-through. Above-ceiling batt insulation was displaced by removal of the ceilings. Prepare RFI for put-back of insulation at roof deck.</p>					

# Site Visit - Other

DATE: 6/15/2022  
 VISIT NAME: OAC #11  
 REPORT NO: 011

ITEM:	011-008	SUBJECT:	1960s Interior Partitions To-Deck	SPACE:	
REMARKS			PHOTO		
<p>There are numerous instances throughout the building (and including at both floors of the 1960s building) where interior partitions are required to extend to the underside of the deck above to provide acoustical separation between spaces. Partitions were previously permitted to terminate at the underside of the plaster ceiling where insulation was present above, but now must be framed to deck. Extend partition heights where indicated in Drawings. No contract change is expected for making this change, as presence of plaster ceiling was unknown and condition was shown in Drawings as exposed joists and deck.</p>					

## Site Visit - Other

DATE: 6/15/2022  
VISIT NAME: OAC #11  
REPORT NO: 011



### TO:

Todd Burdge	Lynch Mykins Structural Engineers, P.C.
Tyson Catlett	Draper Aden Associates
Michael Johnson	Southampton County
Andrew Hemmen	Draper Aden Associates
Matthew Lewis	2rw Consultants, Inc.
Brandon Wilson	2RW
Jeremy Jones	Silling Architects
Katherine Hershey	Glave & Holmes Architecture
Craig Larson	
Jarret Rogerson	Heartland Construction
Steven Lang	
Rick Dean	Heartland
Brian Thrower	Southampton County

### COPIES:

Andrew Moore	Glave & Holmes Architecture
--------------	-----------------------------

# FIELD REPORT



LYNCH MYKINS STRUCTURAL ENGINEERS, PC  
1519 SUMMIT AVENUE, SUITE 101  
RICHMOND, VA 23230  
P: 804.346.3935

REPORT NO. FR-01	SHEET 1 OF 4
DATE: 6-14-22	JOB NO. G20.013
PROJECT: Southampton Courthouse Repairs and Renovation	
LOCATION: Courtland, VA	
CONTRACTOR: Hearland	OWNER: Southampton County
WEATHER:	TEMP: ° at A.M.
PRESENT AT SITE: Todd Burdge, LM Kate Hershey, G&H Contractor	

TO:

Glave & Holmes

Attention: Kate Hershey

General Progress of the Work: Demolition of the existing structure is underway

Areas Observed: existing building areas as shown by the Contractor

Observations/Comments:

1. In the plan north east corner of the oldest part of the building the Contractor identified deteriorated masonry. Refer to photograph 1. Direction for repairs was provided in RFI 049
2. In the plan north east corner of the original building the contractor has installed a 4x4 as shoring at deteriorated masonry. Refer to photograph 2. This does not appear too be adequate. A design professional should be employed to design adequate shoring to protect the original construction until this area is repaired per RFI 034
3. In 2 interior masonry bearing walls are vertical cracks. Refer to photographs 3 for one of the walls. The age of these cracks cannot be determined. The Contractor shall install crack monitors to determine if these are continuing to move. If after 6 months the monitor shows no movement, contact this office for repairs. If at any time the cracks show movement, contact this office.

Follow up from Previous Observations: None

CC:

Signed:

John H. Hancock, PE



# FIELD REPORT

FIELD REPORT NO. 01

DATE: 6-14-22

PROJECT: Southampton Courthouse Repairs and Renovation

SHEET 2 OF 4

JOB NO. G20.013



Photograph 1: Damaged brick in north east corner of existing building



# FIELD REPORT

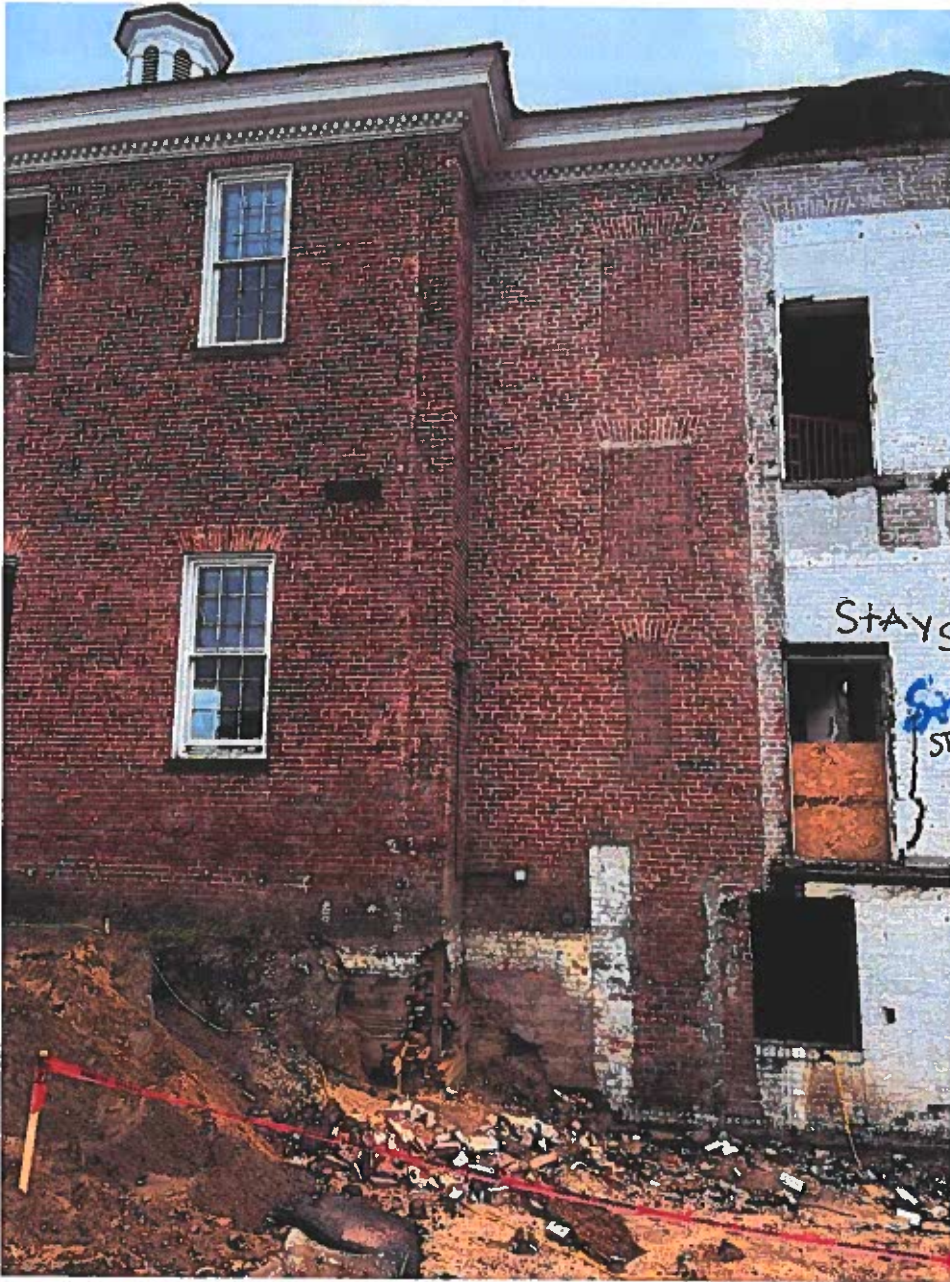
FIELD REPORT NO. 01

DATE: 6-14-22

PROJECT: Southampton Courthouse Repairs and Renovation

SHEET 3 OF 4

JOB NO. G20.013



Photograph 2: 4x4 shoring post supporting masonry above.



# FIELD REPORT

FIELD REPORT NO. 01

DATE: 6-14-22

PROJECT: Southampton Courthouse Repairs and Renovation

SHEET 4 OF 4

JOB NO. G20.013



Photograph 3: crack in existing brick masonry wall



# Southampton County Courthouse Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Start	Finish	Year	Phase	May 2022	June 2022	July 2022	Aug 2022	Sept 2022	Oct 2022	Nov 2022	Dec 2022	Jan 2023	Feb 2023	Mar 2023	Apr 2023	May 2023	June 2023	July 2023	Aug 2023	Sept 2023	Oct 2023	Nov 2023	Dec 2023	
<p><b>Area C</b></p> <p><b>Renovation</b></p> <p>23-Oct-22, Area C</p> <p>05-Aug-22, Renovation</p> <p>29-Jul-22, First Floor</p> <p>05-Aug-22, Second Floor</p>																										
C1000	Complete Demolition	0	02-May-22	301																						
C1010	Install Interior Framing	5	02-May-22	301																						
C1020	FIRP Elevator Pit	10	02-May-22	306																						
C1030	UG Plumbing	7	07-May-22	308																						
C1040	Install Elevator Shaft	5	12-May-22	366																						
C1050	Install OH Electrical	7	14-May-22	308																						
C1060	In Wall Plumbing	5	14-May-22	315																						
C1070	Elevator CO Framing	20	16-May-22	0																						
C1080	Install Elevator Cab	10	17-May-22	366																						
C1090	Install OH Plumbing	10	21-May-22	357																						
C1100	In Wall Electrical	5	21-May-22	308																						
C1110	Hang Gypsum Board	7	28-May-22	308																						
C1120	Install Elevator Doors	5	27-May-22	368																						
C1130	Fire Suppression System	5	31-May-22	357																						
C1140	Finish Gypsum Board	15	02-Jun-22	308																						
C1150	Install Pneumatic Tube	5	05-Jun-22	357																						
C1160	Prime and Paint	5	17-Jun-22	308																						
C1170	Install Ceiling Grid	5	22-Jun-22	308																						
C1180	Install GRD	3	27-Jun-22	310																						
C1190	Install Lights	5	27-Jun-22	308																						
C1200	Install Fire Sprinklers	3	27-Jun-22	310																						
C1210	Install ACT	5	02-Jul-22	308																						
C1220	Final Paint	5	07-Jul-22	308																						
C1230	Install Flooring	5	12-Jul-22	308																						
C1240	Install Casework	7	17-Jul-22	308																						
C1250	Doors & Hardware	5	24-Jul-22	308																						
<p><b>Second Floor</b></p> <p>05-Aug-22, Second Floor</p>																										
C2000	Install Interior Framing	5	07-May-22	301																						
C2010	Install OH Electrical	5	12-May-22	301																						
C2020	Install OH Plumbing	7	17-May-22	301																						
C2030	In Wall Electrical	5	17-May-22	306																						
C2040	Fire Suppression System	5	24-May-22	364																						
C2050	In Wall Plumbing	3	24-May-22	301																						
C2060	Hang Gypsum Board	10	27-May-22	301																						
C2070	Install Pneumatic Tube	5	29-May-22	364																						
C2080	Finish Gypsum Board	15	06-Jun-22	301																						
C2090	Prime and Paint	10	21-Jun-22	301																						
C2100	Install Ceiling Grid	5	01-Jul-22	301																						
C2110	Install GRD	3	06-Jul-22	303																						

Legend:

- Actual Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone
- summary

Page 1 of 10

Reviewed Construction Schedule - Demolition Delay

Revision

Checked

Approved

13-Jun-22

CAL





# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Start Duration	Finish	Year Post	May 2022	July 2022	July 2023	May 2023	July 2023	A	S	O
C2120	Install Lights	5 06-Jul-22	11-Jul-22	301								
C2130	Install Fire Sprinklers	3 06-Jul-22	09-Jul-22	303								
C2140	Install ACT	5 11-Jul-22	16-Jul-22	301								
C2150	Final Paint	5 16-Jul-22	21-Jul-22	301								
C2160	Install Flooring	5 21-Jul-22	26-Jul-22	301								
C2170	Install Casework	5 26-Jul-22	31-Jul-22	301								
C2180	Doors & Hardware	5 31-Jul-22	05-Aug-22	301								
C3000	Building Pad	133 13-Jun-22	23-Oct-22	221								
C3010	FRP Foundations	5 13-Jun-22	18-Jun-22	0								
C3020	UG Plumbing	7 16-Jun-22	25-Jun-22	221								
C3030	UG Electrical	5 25-Jun-22	30-Jun-22	221								
C3040	Prep SOG	3 30-Jun-22	03-Jul-22	221								
C3050	Place SOG	3 03-Jul-22	08-Jul-22	221								
C3060	Erect Steel	2 06-Jul-22	07-Jul-22	221								
C3070	Detail Steel	5 07-Jul-22	12-Jul-22	221								
C3080	Install Joist and Deck	10 12-Jul-22	22-Jul-22	221								
C3090	Frame Exterior Walls	5 22-Jul-22	27-Jul-22	221								
C3100	Install OH Storm Piping	7 27-Jul-22	03-Aug-22	284								
C3110	Install OH Electrical	5 27-Jul-22	01-Aug-22	221								
C3120	Install Roof Blocking	3 01-Aug-22	04-Aug-22	221								
C3130	Install Bluselin	10 03-Aug-22	13-Aug-22	287								
C3140	Install OH Plumbing	2 03-Aug-22	05-Aug-22	284								
C3150	Spray Foam Insulation	5 04-Aug-22	09-Aug-22	221								
C3160	Install Window Blocking	2 05-Aug-22	07-Aug-22	284								
C3170	Fire Suppression System	5 07-Aug-22	12-Aug-22	284								
C3180	Install Windows	5 09-Aug-22	14-Aug-22	221								
C3190	Install Roof Assembly	10 12-Aug-22	22-Aug-22	284								
C3200	Interior Framing	5 13-Aug-22	18-Aug-22	287								
C3210	Install Electrical	5 14-Aug-22	19-Aug-22	221								
C3220	Hang Gypsum Board	2 19-Aug-22	21-Aug-22	221								
C3230	Prime and Paint	10 21-Aug-22	31-Aug-22	221								
C3240	Install Ceiling Grid	0	22-Aug-22	284								
C3250	Install Lighting	16 31-Aug-22	15-Sep-22	221								
C3260	Install ACT Panels	10 15-Sep-22	25-Sep-22	221								
C3270	Finish Paint	5 25-Sep-22	30-Sep-22	221								
C3280	Install Window Shades	3 30-Sep-22	05-Oct-22	241								
C3290	Install Flooring	5 30-Sep-22	05-Oct-22	221								
C3300	Hang Doors and Hardware	5 05-Oct-22	10-Oct-22	221								
C3310	Substantial Completion - Area C1****	5 10-Oct-22	15-Oct-22	221								
C3320	Substantial Completion - Area C1****	3 15-Oct-22	19-Oct-22	228								
C3330	Substantial Completion - Area C1****	3 15-Oct-22	19-Oct-22	221								
C3340	Substantial Completion - Area C1****	5 18-Oct-22	23-Oct-22	221								
C3340	Substantial Completion - Area C1****	0	25-Oct-22	221								

█ Actual Level of Effort    
 █ Actual Work    
 █ Remaining Work    
 ◆ Critical Remaining Work    
 ◆ Milestone    
 → summary

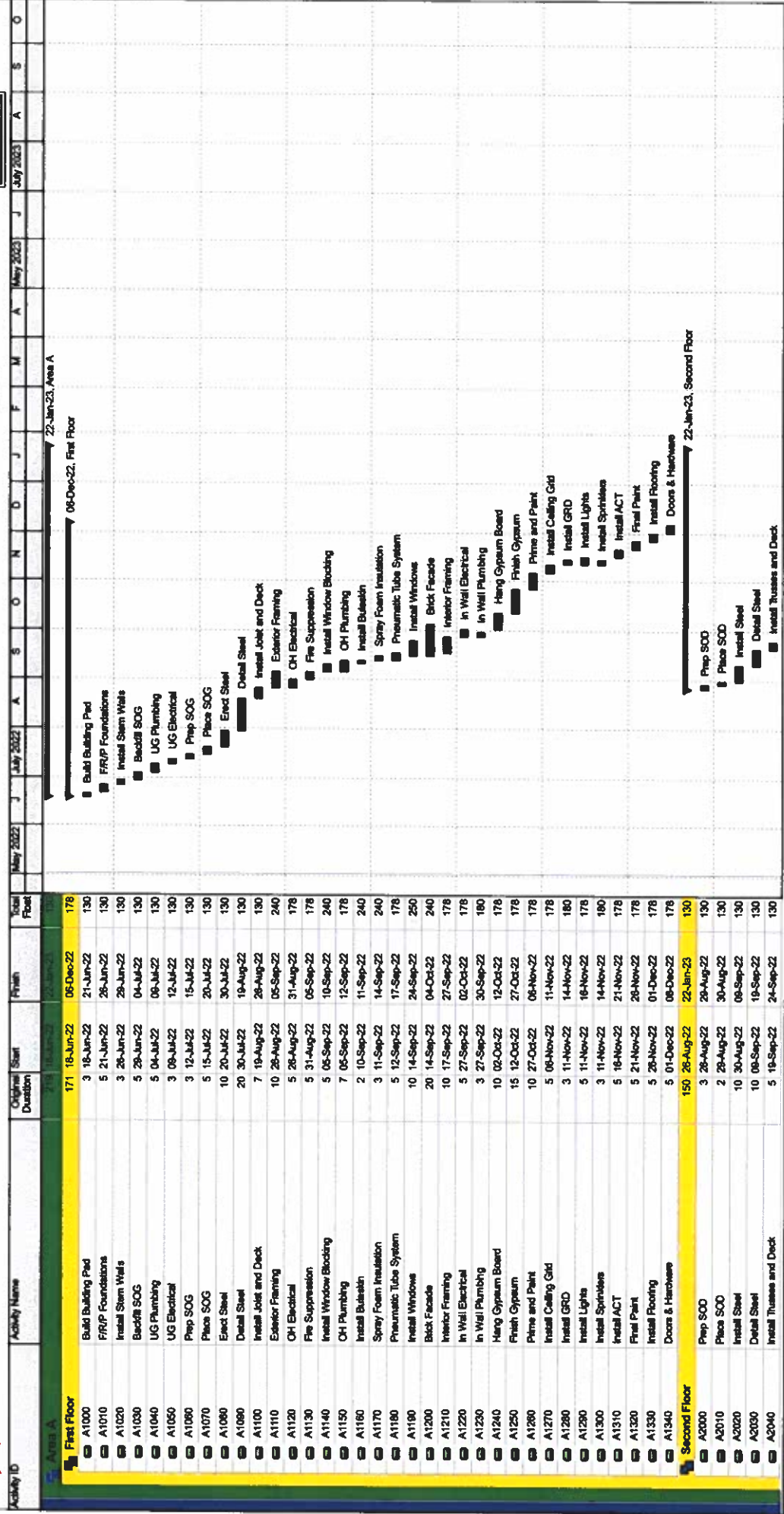
13-Jun-22     23-Oct-22     25-Oct-22

Details     Revision     Checked     Approved  
 Revised Construction Schedule - Dominion Daily     CAL

Page 2 of 10



# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Page 3 of 10

Approved

Checked

Reviewed

Revised Construction Schedule - Domain Daily

13-Jun-22

22-Jan-23, Second Floor

08-Dec-22, First Floor

22-Jan-23, Area A







# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Duration	Start	Finish	Total Pools	Calendar
B1150	Install Elevator Shaft A	3	26-Oct-22	28-Oct-22	130	
B1160	Install Elevator Shaft B	3	29-Oct-22	01-Nov-22	130	
B1170	Install Elevator Shaft D	3	01-Nov-22	04-Nov-22	130	
B1180	Install Decking	10	04-Nov-22	14-Nov-22	172	
B1190	Block Fill	2	04-Nov-22	06-Nov-22	130	
B1200	Install MDP	20	06-Nov-22	26-Nov-22	130	
B1210	Prime and Paint	10	06-Nov-22	16-Nov-22	189	
B1220	Prep and Place SOD	3	14-Nov-22	17-Nov-22	172	
B1230	OH Electrical	2	17-Nov-22	19-Nov-22	195	
B1240	OH Plumbing	2	17-Nov-22	19-Nov-22	172	
B1250	Fire Suppression	3	19-Nov-22	22-Nov-22	172	
B1260	Install Ductwork	20	22-Nov-22	12-Dec-22	172	
B1270	****Permanent Power****	0		28-Nov-22	130	
B1280	Install Mechanical Equipment	2	28-Nov-22	29-Nov-22	186	
B1290	Install Elevator A	20	28-Nov-22	16-Dec-22	130	
B1300	Install Elevator B	20	16-Dec-22	05-Jan-23	130	
B1310	Install Elevator D	2	05-Jan-23	07-Jan-23	130	
B1320	Elevator Trim Out	7	07-Jan-23	14-Jan-23	130	
B1330	Final Paint	5	14-Jan-23	19-Jan-23	130	
B1340	Install Flooring	2	19-Jan-23	20-Jan-23	130	
B1350	Doors and Hardware	2	20-Jan-23	22-Jan-23	130	
<b>First Floor</b>		<b>107</b>	<b>06-Oct-22</b>	<b>21-Apr-23</b>	<b>42</b>	
B2000	FR/P Footings	10	06-Oct-22	16-Oct-22	-102	
B2010	Install CMU Storm Walls	7	16-Oct-22	23-Oct-22	-102	
B2020	Backfill Building Slab	10	23-Oct-22	02-Nov-22	-102	
B2030	Prep Building Pad	10	02-Nov-22	12-Nov-22	-102	
B2040	Place SOG	15	12-Nov-22	27-Nov-22	-102	
B2050	Install Structural Steel	10	27-Nov-22	07-Dec-22	-102	
B2060	Install Joist and Deck	7	07-Dec-22	14-Dec-22	-102	
B2070	Exterior Framing	15	14-Dec-22	29-Dec-22	57	
B2080	Install Pneumatic Tubing	5	17-Dec-22	22-Dec-22	64	
B2090	Install OH Electrical	5	17-Dec-22	22-Dec-22	42	
B2100	Install OH Plumbing	7	22-Dec-22	29-Dec-22	42	
B2110	Install Fire Suppression	5	29-Dec-22	05-Jan-23	42	
B2120	Install Demse	5	29-Dec-22	05-Jan-23	100	
B2130	Install Cable Tray	5	03-Jan-23	06-Jan-23	47	
B2140	Install Ductwork	10	03-Jan-23	13-Jan-23	42	
B2150	Shedding	10	03-Jan-23	13-Jan-23	100	
B2160	Interior Framing	10	13-Jan-23	23-Jan-23	42	
B2170	Install Bluestain	2	13-Jan-23	15-Jan-23	100	
B2180	Spray Foam Insulation	3	15-Jan-23	18-Jan-23	100	
B2190	Install Windows	10	18-Jan-23	28-Jan-23	100	
B2200	In-Wall Electrical	7	23-Jan-23	30-Jan-23	42	

■ Actual Level of Effort     ■ Critical Remaining Work  
■ Actual Work     ◆ Milestone  
■ Remaining Work     ▼ summary

Date: 13-Jun-22     Revision: Revised Construction Schedule - Dominion Daily     Checked: CAL     Approved:





# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Start Duration	Finish	Year Floor	May 2022	June 2022	July 2022	Aug 2022	Sept 2022	Oct 2022	Nov 2022	Dec 2022	Jan 2023	Feb 2023	Mar 2023	Apr 2023	May 2023	June 2023	July 2023	Aug 2023	Sept 2023	Oct 2023	Nov 2023	Dec 2023
B2210	Install Brick Facade	25	28-Jan-23	22-Feb-23	100																			
B2220	Install Plumbing	5	30-Jan-23	04-Feb-23	42																			
B2230	Hang Gypsum Board	10	04-Feb-23	14-Feb-23	42																			
B2240	Finish Gypsum Board	15	14-Feb-23	01-Mar-23	42																			
B2250	Prime and Paint	10	01-Mar-23	11-Mar-23	42																			
B2260	Install ACT Grid	5	11-Mar-23	16-Mar-23	42																			
B2270	Install OH Lights and Devices	7	16-Mar-23	23-Mar-23	42																			
B2280	Install ACT	5	23-Mar-23	28-Mar-23	42																			
B2290	Final Paint	5	28-Mar-23	02-Apr-23	42																			
B2300	Install Flooring	5	02-Apr-23	07-Apr-23	42																			
B2310	Install Casework	7	07-Apr-23	14-Apr-23	42																			
B2320	Doors and Hardware	7	14-Apr-23	21-Apr-23	42																			
<b>Second Floor</b>					7																			
B3000	Place SOD	163	14-Dec-22	26-May-23	7																			
B3010	Erect Structural Steel	3	14-Dec-22	17-Dec-22	-102																			
B3020	Install Joist and Deck	7	17-Dec-22	24-Dec-22	-102																			
B3030	Exterior Framing	10	24-Dec-22	03-Jan-23	-102																			
B3040	Install CFM Trusses	10	03-Jan-23	13-Jan-23	-102																			
B3050	Install Densite	10	13-Jan-23	23-Jan-23	-102																			
B3060	Spray Foam Insulation	5	13-Jan-23	18-Jan-23	-2																			
B3070	Install Exterior Windows	3	18-Jan-23	21-Jan-23	-2																			
B3080	Install Siding	10	21-Jan-23	31-Jan-23	107																			
B3090	Install Roof Decking	10	21-Jan-23	31-Jan-23	-2																			
B3100	Install TPO Roof System	3	23-Jan-23	26-Jan-23	-102																			
B3110	Exterior Brick Facade	7	26-Jan-23	02-Feb-23	-102																			
B3120	*****Dry-In - Area B*****	15	31-Jan-23	15-Feb-23	107																			
B3130	Install Shingle System Roof	0	31-Jan-23	31-Jan-23	122																			
B3140	Set RTU	10	02-Feb-23	12-Feb-23	110																			
B3150	Install OH Electrical	2	02-Feb-23	04-Feb-23	-80																			
B3160	Install OH Plumbing	2	02-Feb-23	04-Feb-23	-102																			
B3170	*****Conditioned Air - Area B*****	7	04-Feb-23	11-Feb-23	-102																			
B3180	Install Ductwork	0	04-Feb-23	04-Feb-23	-80																			
B3190	Install Fire Suppression	10	11-Feb-23	21-Feb-23	-102																			
B3200	Install Pneumatic Tubing	5	21-Feb-23	26-Feb-23	-102																			
B3210	Interior Framing	5	26-Feb-23	03-Mar-23	-102																			
B3220	Install In-Wall Electrical	10	03-Mar-23	13-Mar-23	-102																			
B3230	Install In-Wall Plumbing	5	13-Mar-23	18-Mar-23	-102																			
B3240	Hang Drywall	3	18-Mar-23	18-Mar-23	-100																			
B3250	Finish Drywall	10	18-Mar-23	28-Mar-23	-102																			
B3260	Prime and Paint	10	28-Mar-23	07-Apr-23	-102																			
B3270	Install ACT Grid	10	07-Apr-23	17-Apr-23	-102																			
B3280	Install Lighting and Devices	7	17-Apr-23	24-Apr-23	-102																			
B3290	Install ACT	5	24-Apr-23	29-Apr-23	-102																			
B3290	Install ACT	5	29-Apr-23	04-May-23	-102																			

**Actual Level of Effort** (Red bar)

**Actual Work** (Blue bar)

**Remaining Work** (Green bar)

**Critical Remaining Work** (Red arrow)

**Milestones** (Black diamond)

**summary** (Black arrow)

**Revision**

Revised Construction Schedule - Definition Daily

Checked: CAL

Approved:

Page 6 of 10



# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Duration	Start	Finish	Total Floor	Month	Month	Month	Month	Month	Month	Month	Month	Month	Month	Month	Month
B3300	Final Paint	5	04-May-23	09-May-23	-102												
B3310	Install Roofing	5	08-May-23	14-May-23	-102												
B3320	Install Casework	7	14-May-23	21-May-23	-102												
B3330	Doors and Hardware	5	21-May-23	28-May-23	-102												
B3340	Substantial Completion - Area B****	0		28-May-23	-102												
<b>Area D</b>																	
<b>Renovation</b>																	
D1000	OH Electrical	178	18-Mar-23	12-Sep-23	-102												
D1010	OH Plumbing	5	18-Mar-23	23-Mar-23	-44												
D1020	Pneumatic Tubing	5	23-Mar-23	28-Mar-23	-44												
D1030	Install Ductwork	3	28-Mar-23	31-Mar-23	-44												
D1040	Install Fire Suppression	5	31-Mar-23	05-Apr-23	-44												
D1050	Interior Framing	3	05-Apr-23	08-Apr-23	-44												
D1060	In-Wall Electrical	5	08-Apr-23	13-Apr-23	-44												
D1070	In-Wall Plumbing	3	13-Apr-23	16-Apr-23	-44												
D1080	Hang Gypsum Board	2	13-Apr-23	15-Apr-23	-11												
D1090	Hang Gypsum Board	7	15-Jul-23	22-Jul-23	-102												
D1100	Prime and Paint	10	22-Jul-23	01-Aug-23	-102												
D1110	Install ACT Grid	7	01-Aug-23	08-Aug-23	-102												
D1120	Install Lights and Devices	5	08-Aug-23	13-Aug-23	-102												
D1130	Install ACT	5	13-Aug-23	18-Aug-23	-102												
D1140	Final Paint	3	18-Aug-23	21-Aug-23	-102												
D1150	Install Roofing	5	21-Aug-23	26-Aug-23	-102												
D1160	Install Casework	5	26-Aug-23	31-Aug-23	-102												
D1170	Doors and Hardware	7	31-Aug-23	07-Sep-23	-102												
D1170	Doors and Hardware	5	07-Sep-23	12-Sep-23	-102												
<b>Second Floor</b>																	
D2000	OH Electrical	91	16-Apr-23	15-Sep-23	-44												
D2010	OH Plumbing	5	16-Apr-23	21-Apr-23	-44												
D2020	Pneumatic Tubing	3	21-Apr-23	24-Apr-23	-44												
D2030	Install Ductwork	5	24-Apr-23	29-Apr-23	-44												
D2040	Install Fire Suppression	7	29-Apr-23	06-May-23	-44												
D2050	Interior Framing	5	06-May-23	11-May-23	-44												
D2060	In-Wall Electrical	7	11-May-23	18-May-23	-44												
D2070	In-Wall Plumbing	5	18-May-23	23-May-23	-44												
D2080	Hang Gypsum Board	2	23-May-23	25-May-23	-41												
D2090	Hang Gypsum Board	10	25-May-23	04-Jun-23	-44												
D2100	Historical Wood Renovation	20	28-May-23	15-Jun-23	-102												
D2110	Prime and Paint	7	04-Jun-23	11-Jun-23	-44												
D2120	Install ACT Grid	5	11-Jun-23	16-Jun-23	-44												
D2130	Historical Brick Renovation	20	15-Jun-23	05-Jul-23	-102												
D2140	Install Lights and Devices	5	15-Jun-23	21-Jun-23	-44												
D2150	Install ACT	3	21-Jun-23	24-Jun-23	-44												

**Actual Level of Effort** █ **Critical Remaining Work**

**Actual Work** █ **Milestones**

**Remaining Work** █ **summary**

**Revision**

Revised Construction Schedule - Dominion Utility

13-Jun-22

16-Jun-22

12-Sep-23, Approved





# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Start	Original Duration	Finish	Total Floor	Month	Year	Month	Year
D2160	Final Paint	5/24/22	28-Jun-23	44					
D2170	Install Flooring	5/28/22	04-Jul-23	44					
D2180	Install Casework	7/04/23	11-Jul-23	44					
D2190	Install Windows	10/05/23	15-Jul-23	-102					
D2200	Historical Roof Repair	7/05/23	12-Jul-23	40					
D2210	Doors and Hardware	5/11/23	16-Jul-23	44					
D2220	****Dry-In - Area D****	0	15-Jul-23	-102					
D2230	****Conditioned Air - Area D****	0	15-Jul-23	-102					
D2240	****Substantial Completion - Area D****	0	16-Jul-23	44					
D3000	Build Building Pad	75/18-Jun-22	01-Sep-22	274					
D3010	FRFP Footings	2/18-Jun-22	19-Jun-22	230					
D3020	Place SOG	5/19-Jun-22	24-Jun-22	230					
D3030	Install CMU Walls	3/24-Jun-22	27-Jun-22	230					
D3040	Install CFS Trusses	7/07-Jul-22	14-Jul-22	230					
D3050	Install Slate Roofing	10/14-Jul-22	24-Jul-22	274					
D3060	Spray Foam Insulation	3/14-Jul-22	17-Jul-22	230					
D3070	Install Brick Facade	20/17-Jul-22	06-Aug-22	230					
D3080	Install Stairs	10/24-Jul-22	03-Aug-22	274					
D3090	Demo/Install Openings	5/03-Aug-22	08-Aug-22	274					
D3100	Block Fill	2/08-Aug-22	10-Aug-22	274					
D3110	Prime and Paint	5/10-Aug-22	15-Aug-22	274					
D3120	Install Electrical	3/15-Aug-22	18-Aug-22	274					
D3130	Install Plumbing	3/18-Aug-22	21-Aug-22	274					
D3140	Install Mechanical	3/21-Aug-22	24-Aug-22	274					
D3150	Final Paint	3/24-Aug-22	27-Aug-22	274					
D3160	Install Flooring	3/27-Aug-22	29-Aug-22	274					
D3170	Doors and Hardware	3/29-Aug-22	01-Sep-22	274					
E1000	Building Pad	96/10-Feb-23	17-May-23	15					
E1010	FRFP Footing	3/10-Feb-23	13-Feb-23	-2					
E1020	UG Plumbing	5/13-Feb-23	18-Feb-23	-2					
E1030	UG Electrical	5/18-Feb-23	23-Feb-23	-2					
E1040	Prep and Place SOG	2/23-Feb-23	25-Feb-23	-2					
E1050	Erect Structural Steel	4/25-Feb-23	01-Mar-23	-2					
E1060	Joist and Deck	10/01-Mar-23	11-Mar-23	-2					
E1070	Frame Exterior Walls	5/11-Mar-23	16-Mar-23	66					
E1080	OH Electrical	5/16-Mar-23	23-Mar-23	15					
E1090	OH Plumbing	5/18-Mar-23	21-Mar-23	15					
E1100	Install Glazing	5/21-Mar-23	26-Mar-23	66					
E1110	Fire Suppression	5/23-Mar-23	28-Mar-23	15					
E1120	Install Ductwork	3/28-Mar-23	29-Mar-23	15					
E1130	Install Ductwork	5/29-Mar-23	03-Apr-23	15					

**Actual Level of Effort** █ **Critical Remaining Work** █

**Actual Work** █ **Milestone** ◆

**Remaining Work** █ **Summary** █

**Desk** 13-Jan-22

**Revision** 17-May-23, Connected Colonnade

**Revised Construction Schedule - Definition Daily** CAL

**Checked** Approved



# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Duration	Start	Finish	Total Float	Calendar
E1130	Install Pneumatic Tubing	3	03-Apr-23	06-Apr-23	15	
E1140	Interior Framing	7	05-Apr-23	13-Apr-23	15	
E1160	In-Wall Electrical	3	13-Apr-23	16-Apr-23	47	
E1180	In-Wall Plumbing	2	13-Apr-23	15-Apr-23	15	
E1170	Hang Gypsum Board	7	15-Apr-23	22-Apr-23	15	
E1180	Prime and Paint	4	22-Apr-23	26-Apr-23	15	
E1190	Install ACT Grid	4	26-Apr-23	30-Apr-23	15	
E1200	Install Lights and Devices	3	30-Apr-23	03-May-23	15	
E1210	Install ACT	2	03-May-23	04-May-23	15	
E1220	Finish Paint	3	04-May-23	07-May-23	15	
E1230	Install Flooring	4	07-May-23	11-May-23	15	
E1240	Install Casework	3	11-May-23	14-May-23	15	
E1250	Doors and Hardware	3	14-May-23	17-May-23	15	
<b>Second Floor</b>						
E2000	Prep and Place SOO	79	16-Mar-23	03-Jun-23	-2	
E2010	Erect Structural Steel	2	16-Mar-23	18-Mar-23	-2	
E2020	Joist and Deck	10	18-Mar-23	28-Mar-23	-2	
E2030	OH Electrical	5	28-Mar-23	02-Apr-23	-2	
E2040	OH Plumbing	5	02-Apr-23	07-Apr-23	-2	
E2050	Fire Suppression	5	07-Apr-23	12-Apr-23	-2	
E2060	Install Ductwork	3	12-Apr-23	15-Apr-23	-2	
E2060	Install Ductwork	5	15-Apr-23	20-Apr-23	-2	
E2070	Install Pneumatic Tubing	3	20-Apr-23	23-Apr-23	-2	
E2080	Interior Framing	7	23-Apr-23	30-Apr-23	-2	
E2080	In-Wall Electrical	3	30-Apr-23	03-May-23	30	
E2100	In-Wall Plumbing	2	30-Apr-23	01-May-23	-2	
E2110	Hang Gypsum Board	7	01-May-23	08-May-23	-2	
E2120	Prime and Paint	4	08-May-23	12-May-23	-2	
E2130	Install ACT Grid	4	12-May-23	16-May-23	-2	
E2140	Install Lights and Devices	3	16-May-23	19-May-23	-2	
E2150	Install ACT	2	19-May-23	21-May-23	-2	
E2180	Finish Paint	3	21-May-23	24-May-23	-2	
E2170	Install Flooring	4	24-May-23	28-May-23	-2	
E2180	Install Casework	3	28-May-23	31-May-23	-2	
E2190	Doors and Hardware	3	31-May-23	03-Jun-23	-2	
<b>Subtotal</b>						
SW1000	Install Storm Sewer	30	02-May-22	01-Jun-22	-78	
SW1010	Install Footcamb	7	01-Jun-22	06-Jun-22	-78	
SW1020	Install Walksh	10	06-Jun-22	16-Jun-22	-78	
SW1030	Install Deep Sanitary	15	11-Jul-22	26-Jul-22	-102	
SW1040	Install CMU Retaining Wall	10	31-Jan-23	10-Feb-23	-2	
SW1050	Backfill Retaining Wall	5	10-Feb-23	15-Feb-23	62	
SW1060	Site Concrete	20	15-Feb-23	07-Mar-23	62	
SW1070	MB and Overlay Pavement	5	07-Mar-23	12-Mar-23	78	

**Legend:**

- Actual Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone
- Summary

**Calendar:** May 2022, July 2022, May 2023, July 2023

**Key Dates:**

- 01-Apr-23: Stawork
- 03-Jun-23: Second Floor

**Revisions:**

Date	Revision	Checked	Approved
13-Jan-22	Revised Construction Schedule - Dominion Daily	CAL	

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# Southampton County Repair and Renovation of Courthouse Facilities Courtland, VA



Activity ID	Activity Name	Original Start	Original Duration	Finish	Total Float	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar	Calendar
SW1080	Install Fencing	01-Mar-23	15	22-Mar-23	62													
SW1080	Signage and Striping	12-Mar-23	3	15-Mar-23	79													
SW1100	Seeding and Landscape	22-Mar-23	10	01-Apr-23	62													
DE1000	Discovered Location of Primary	01-Apr-22 A	0	01-Apr-22 A														
DE1010	Met With Dominion Energy	04-Apr-22 A	1	04-Apr-22 A														
DE1020	DE Submitted Engineering to Owner	18-May-22 A	2	19-May-22 A														
DE1030	Southampton County Flood Paperwork	19-May-22 A	2	20-May-22 A														
DE1040	CG/Arch/Owner Questions on Engineering	23-May-22 A	10	28-May-22 A														
DE1050	Sawcut Concrete For Transformer	08-Jun-22 A	2	09-Jun-22 A														
DE1060	Installed Conduit	09-Jun-22 A	3	13-Jun-22 A														
DE1070	DE Inspections	15-Jun-22	2	16-Jun-22	-102													
DE1080	DE Construction Scheduling	16-Jun-22	20	06-Jul-22	-102													
DE1090	Transformer Rebraced	06-Jul-22	5	11-Jul-22	-102													
DE1100	Primary Power Decommissioned		0	11-Jul-22	-102													

■ Install Fencing  
■ Signage and Striping  
■ Seeding and Landscape

■ Discovered Location of Primary, 01-Apr-22 A  
■ Met With Dominion Energy  
■ DE Submitted Engineering to Owner  
■ Southampton County Flood Paperwork  
■ CG/Arch/Owner Questions on Engineering  
■ Sawcut Concrete For Transformer  
■ Installed Conduit  
■ DE Inspections  
■ DE Construction Scheduling  
■ Transformer Rebraced  
◆ Primary Power Decommissioned,

Actual Level of Effort ■ Critical Remaining Work

Actual Work ■ Milestones

Remaining Work ■ Summary

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Approved





*Office of the City Manager  
Amanda C. Jarratt*

July 6, 2022

To: Franklin City Council

From: Amanda C. Jarratt, City Manager

Reference: City Manager's Report

**General Updates**

- Staff would like to thank all of the employees, sponsors, and volunteers that allowed for a successful Independence Day Celebration.
- The time frame for citizens to apply for tax relief for the elderly/disabled begins July 1st and they must be submitted to the Commission of the Revenue by August 1st.

**Community Events**

- National Night Out August 2, 2022
- Amnesty Week August 15<sup>th</sup>- 19<sup>th</sup>
- Fall Festival October 1<sup>st</sup>